

SITE DATA:

S/T/R: 18-28S-16E
PARCEL ID: 16-26-16-0000-00200-0020
6727 TROUBLE CREEK RD, NEW PORT RICHEY, FL 34653

PROPERTY ACREAGE: 163,788 SF (3.76 ACRES)

EXISTING ZONING: COMMERCIAL (C-2)
PROPOSED ZONING: LIGHT INDUSTRIAL
EXISTING USE: GENERAL COMMERCIAL
PROPOSED USE: INDUSTRIAL
FUTURE LAND USE: ???

NO. OF DWELLING UNITS: (1) EXIST, (1) PROP.
GROSS DENSITY (DU/GA): ???
FRONT YARD SETBACK: 25 FT
SIDE YARD SETBACK: 15 FT
REAR YARD SETBACK: 25 FT
BUFFERING: N/A

MAX. FLOOR AREA RATIO: ???
MAX. BUILDING HEIGHT: ???
MAX. BUILDING COVERAGE: 4,288 SF
MAX. IMPERVIOUS SURFACE: ???

NATURAL WATER BODY ACREAGE: N/A
MAN-MADE WATER BODY ACREAGE: N/A
ENVIRON. SENSITIVE AREA ACREAGE: N/A
FLOOD ZONE: "B" & "C"
ARCH./HISTORIC LANDMARKS ON SITE: N/A
CULTURAL RESOURCES: N/A

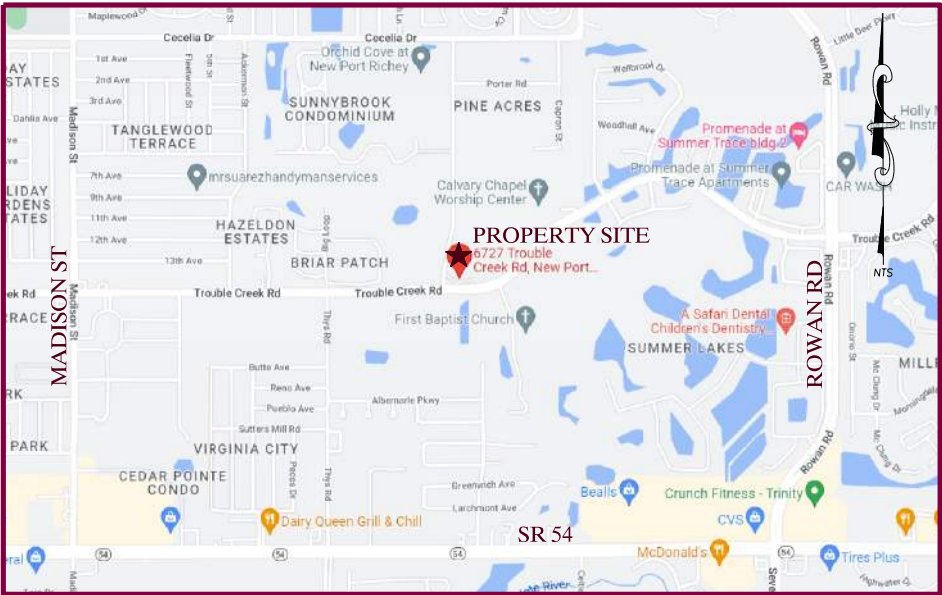
PARKING SPACES: 6 REQ'D, 6 PROVIDED
WATER & SEWER: PASCO COUNTY
SURVEY CONTROL: BENCHMARK DATUM: NAVD 1988

LEGAL DESCRIPTION:

COM AT NE COR OF SEC TH S00DG 09' 36"W 1736.16 FT
ALG EAST BDY OF NE1/4 TH N89DG 44' 31"W 995.63 FT
TH S00DG 10' 32"W 228.24 FT FOR POB TH S00DG 45'
05"W 563.51 FT TH 108.30 FT ALG ARC OF 510 FT RAD
CURVE CONCAVE NWLY CHD S84DG 09' 42"W 108.09 FT TH
N89DG 45' 18"W 291.65 FT TH N00DG 07' 00"E 50.06 FT
TH 135.05 FT ALG ARC OF 570 FT RAD CURVE CON- CAVE
SELY CHD N06DG 54' 16"E 134.74 FT TH N13DG 41' 31"E
273.27 FT TH S00DG 10' 51"W 110.55 FT TH S89DG 44'
44"E 184.91 FT TH N00DG 10' 51"E 235.88 FT TH S89DG
44' 44"E 140.30 FT TO POB; SOUTH 80 FT OF WEST 100
FT SUBJECT TO DRAINAGE &/OR UTILITY EASEMENT

REZONING MODIFICATION
FOR VEHICULAR
OUTDOOR STORAGE

6727 TROUBLE CREEK ROAD
NEW PORT RICHEY, FL 34653



LOCATION MAP

SHEET INDEX:

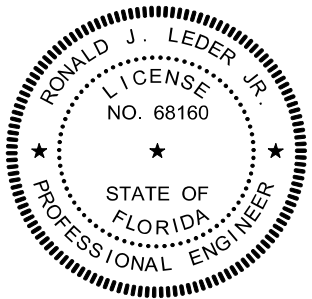
SHEET NO.	SHEET DESCRIPTION
DWG-1	COVER SHEET
DWG-2	AERIAL OVERVIEW
DWG-3	PROPERTY APPRAISER MAP
DWG-4	EXIST. SITE PLAN (10/5/2000)
DWG-5	EXIST. SITE PLAN (EXPANDED)
DWG-6	PROP. SITE PLAN IMPROVEMENTS

Owner/Applicant

ROBERT & DIANA BYRNES
6727 TROUBLE CREEK ROAD
NEW PORT RICHEY, FL 34653
PHONE: (727) 271-5504
office@riptidepressurewashing.com

Reviewing Agency

CITY OF NEW PORT RICHEY
PLANNING & DEVELOPMENT DEPT
CITY HALL, 5919 MAIN ST, 1ST FLR
NEW PORT RICHEY, FL 34652
PHONE: (727) 853-1044



Engineer



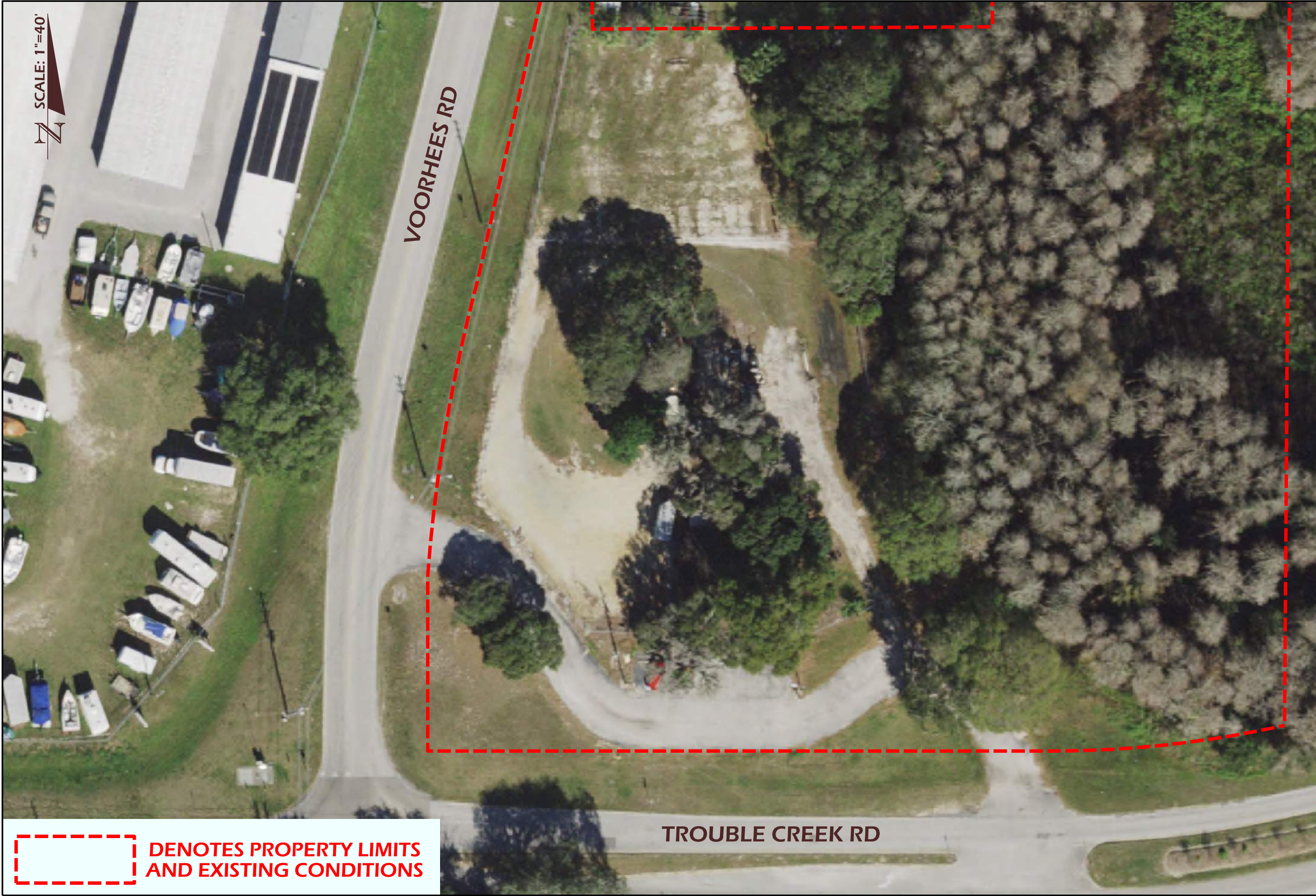
R J L Professional Associates

4316 FOXGLEN LN, TAMPA, FL 33624
P: 813-455-6787 E: RJLPALLC@GMAIL.COM

RONALD J. LEDER JR. PROFESSIONAL ENGINEER NO: 68160

DATE:	SEPT. 12, 2023	JOB NO.	N/A
Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.83 Feet			
DESIGNED BY:	RJL	DRAWN BY:	RJL
FILE:	COVER SHEET		DWG-1

DATE	REVISION DESCRIPTION	BY



SCALE: 1"=40'

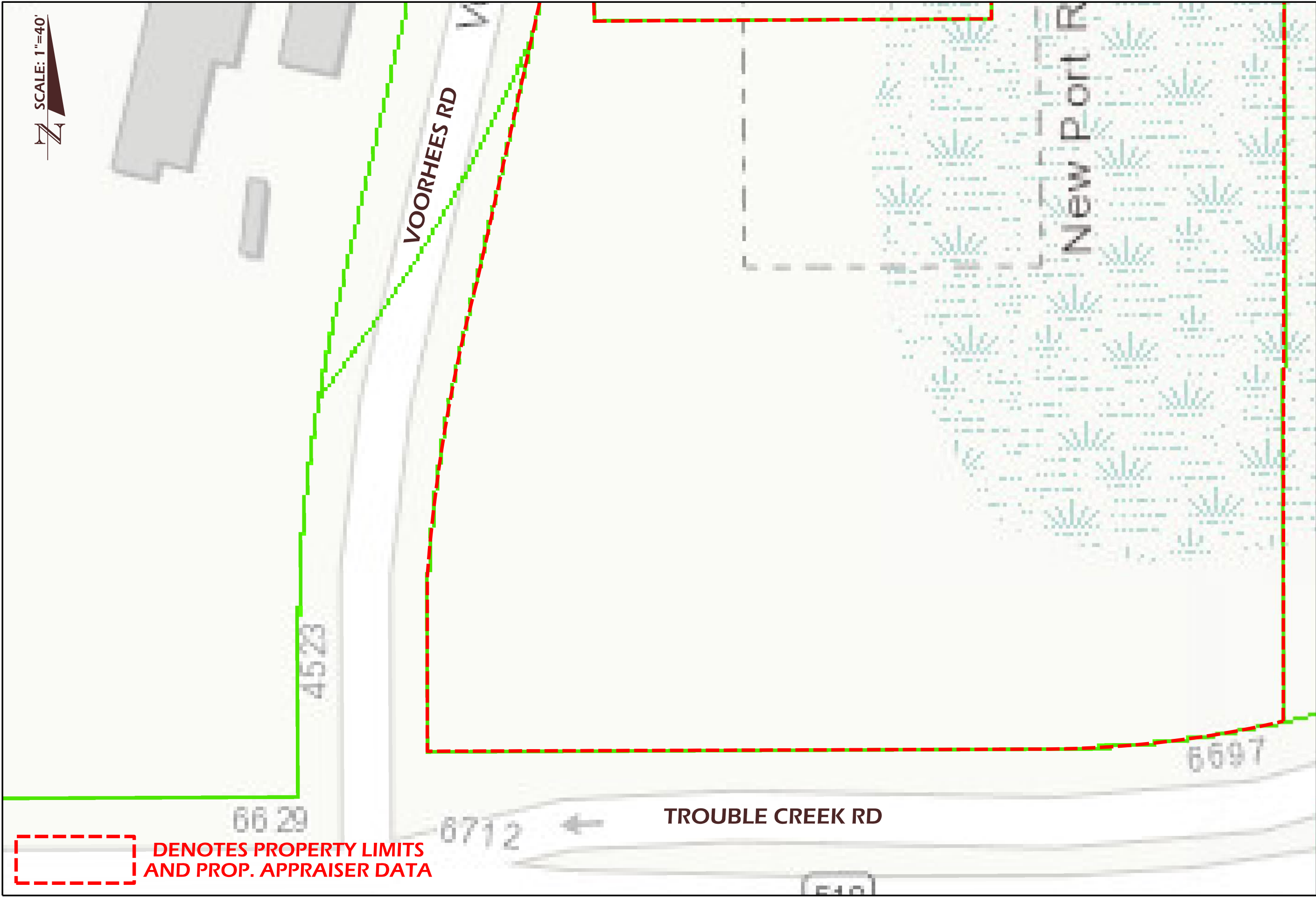
VOORHEES RD

TROUBLE CREEK RD



DENOTES PROPERTY LIMITS
AND EXISTING CONDITIONS

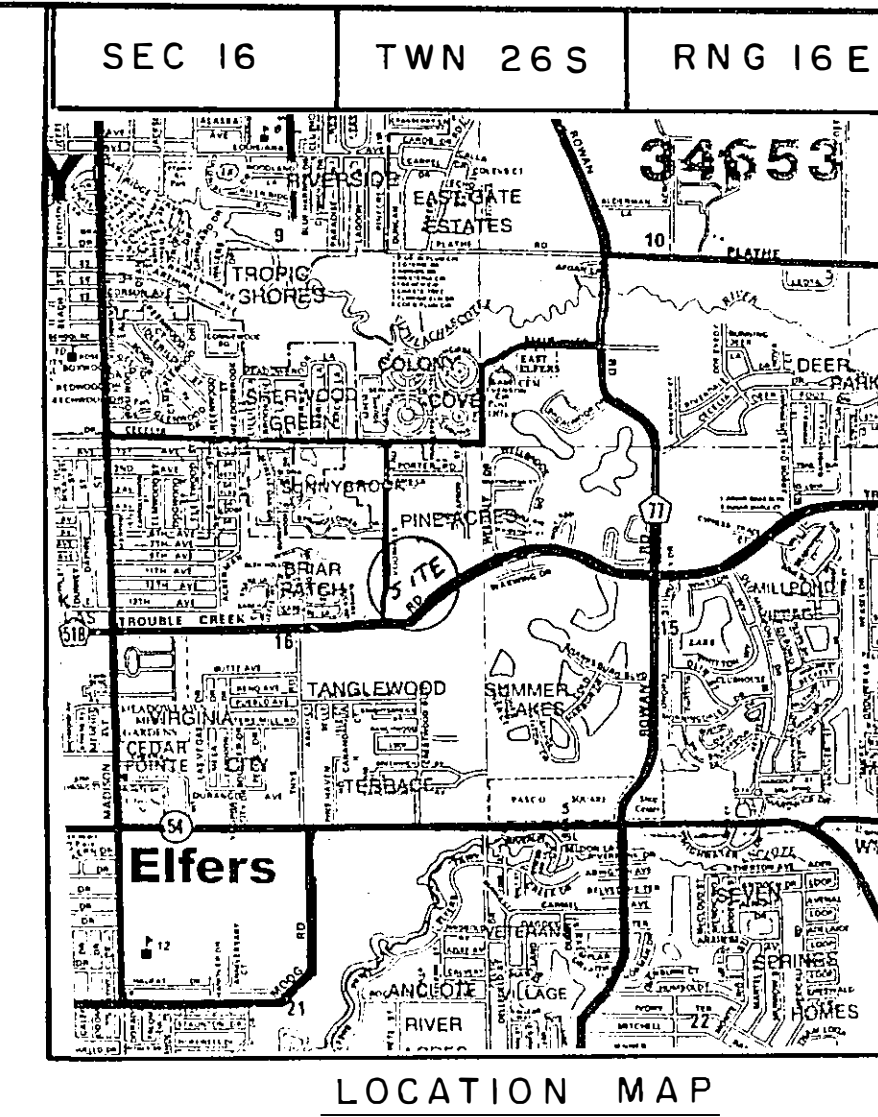
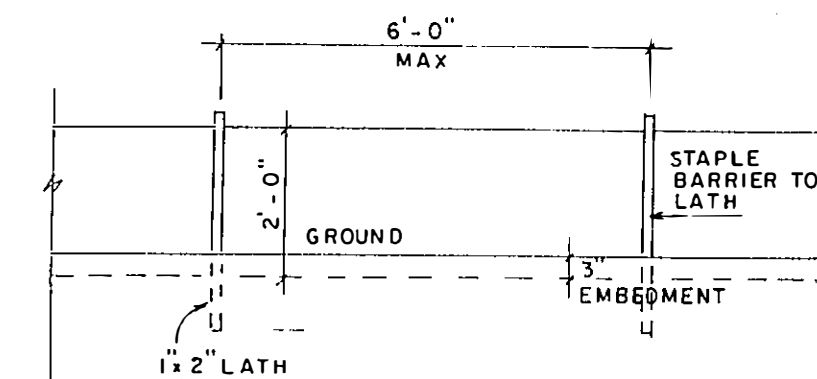
	ENGINEERING CONSULTANT:		REVIEWING AGENCY:		PROPERTY OWNER:		PROJECT:	DATE:	REVISION NO.:	
	RJL PROFESSIONAL ASSOCIATES, LLC 4316 FOXGLEN LN, TAMPA, FL 33624 PHONE: (813) 455-6787 EMAIL: rjlpalco@gmail.com RONALD J. LEDER, JR., P.E. #68160		CITY OF NEW PORT RICHEY PLANNING & DEVELOPMENT DEPT CITY HALL, 5919 MAIN ST, 1ST FLR NEW PORT RICHEY, FL 34652 PHONE: (727) 853-1044		ROBERT & DIANA BYRNES PHONE: (727) 271-5504 PROPERTY ADDRESS: 6727 TROUBLE CREEK ROAD NEW PORT RICHEY, FL 34653		REZONING MODIFICATION FOR VEHICULAR OUTDOOR STORAGE	9/12/2023		
							DRAWING NO:			
							AERIAL OVERVIEW	DWG - 2		



ENGINEERING CONSULTANT:		REVIEWING AGENCY:		PROPERTY OWNER:	PROJECT:	DATE:	REVISION NO.:
 RJL PROFESSIONAL ASSOCIATES, LLC 4316 FOXGLEN LN, TAMPA, FL 33624 PHONE: (813) 455 - 6787 EMAIL: rjlpallic@gmail.com RONALD J. LEDER, JR., P.E. #68160		CITY OF NEW PORT RICHEY PLANNING & DEVELOPMENT DEPT CITY HALL, 5919 MAIN ST, 1ST FLR NEW PORT RICHEY, FL 34652 PHONE: (727) 853-1044		ROBERT & DIANA BYRNES PHONE: (727) 271-5504	REZONING MODIFICATION FOR VEHICULAR OUTDOOR STORAGE	9/12/2023	
				PROPERTY ADDRESS:			DRAWING TITLE:
				6727 TROUBLE CREEK ROAD NEW PORT RICHEY, FL 34653		PROPERTY APPRAISER MAP DWG - 3	

	CURVE 1	CURVE 2
RADIUS	510.00'	570.00'
ARC	108.30'	135.05'
CHORD	108.09'	134.75'
BEARING	S 84 09'42"W	S 00 10'51"W

INSTALL A SEDIMENT BARRIER ALONG THE NORTH PROPERTY LINE TO THE EXISTING RETENTION BASIN AND ALONG THE EDGE OF THE BASIN AS SHOWN ON THE PLAN. THE BARRIER SHALL BE MAINTAINED INTACT FROM THE START OF CONSTRUCTION TO COMPLETION. THE BARRIER SHALL BE INSPECTED AFTER EACH STORM EVENT.



SEAL
1/17/01
BUSSMANN CONSTRUCTION SERVICES INC.
5757 COLONIAL DRIVE
NEW PORT RICHEY, FLORIDA 34653
(813) 847-4882

NO.	BY	DATE	REVISIONS

BACKYARD BIRDHOUSE
SITE MODIFICATION

LARRY AND CAROLYN HAYS
19406 HIAWATHA DRIVE
ODESSA, FLORIDA 33556

Scale: AS SHOWN
Date: 10/15/00
Design: R.G.B.
Drawn By: L.A.B.
Checked By:

DWG-4

LEGAL DESCRIPTION

A PORTION OF SECTION 16, TOWNSHIP 26 SOUTH, RANGE 16 EAST, PASCO COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

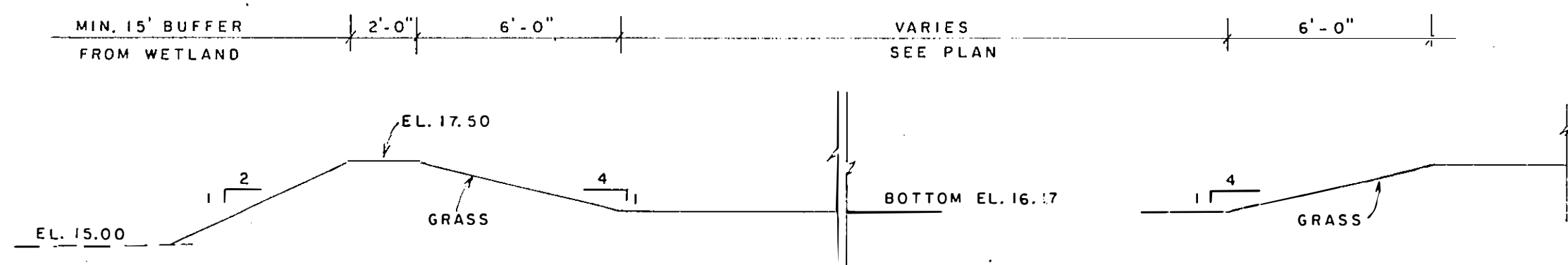
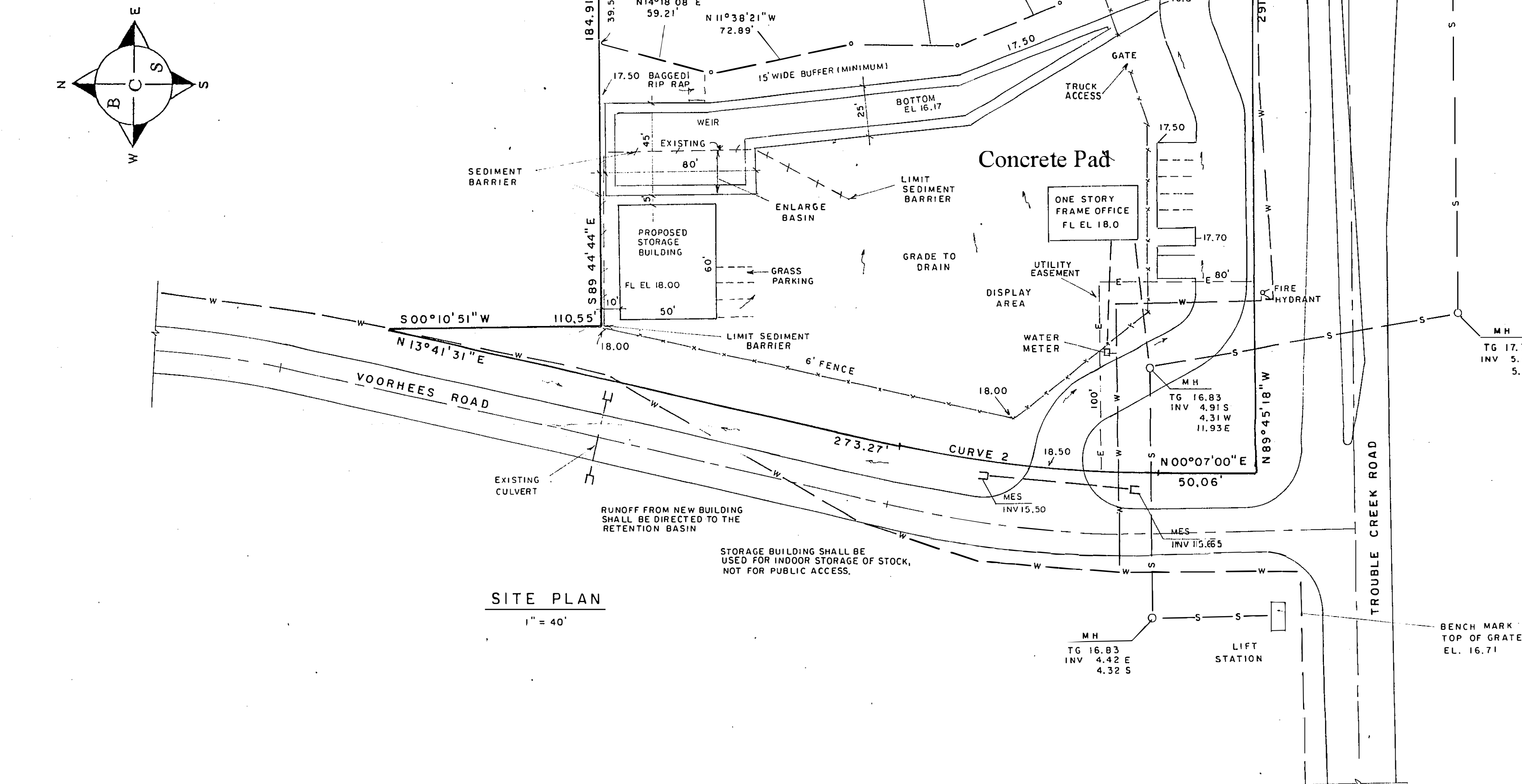
COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 16; THENCE RUN SOUTH 00°09'36" WEST, 1736.16 FEET ALONG THE EAST BOUNDARY LINE OF THE NORTHEAST 1/4 OF SAID SECTION 16; THENCE NORTH 89°44'31" WEST, 995.63 FEET; THENCE SOUTH 00°10'32" WEST, 228.24 FEET TO A POINT OF BEGINNING; THENCE SOUTH 00°45'05" WEST, 563.51 FEET; THENCE 108.30 FEET ALONG THE ARC OF A 510.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST, SUBTENDED BY A CHORD DISTANCE OF 108.09 FEET BEARING SOUTH 84°09'42" WEST; THENCE NORTH 89°45'18" WEST, 291.65 FEET; THENCE NORTH 00°10'00" EAST, 50.06 FEET; THENCE 135.05 FEET ALONG THE ARC OF A 570.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHEAST, SUBTENDED BY A CHORD DISTANCE OF 134.74 FEET BEARING NORTH 06°54'16" EAST; THENCE NORTH 13°41'31" EAST, 273.27 FEET; THENCE SOUTH 00°10'51" WEST, 110.55 FEET; THENCE SOUTH 89°44'44" EAST, 184.91 FEET; THENCE N 00°10'51" EAST, 235.88 FEET; THENCE SOUTH 89°44'44" EAST, 140.30 FEET TO THE POINT OF BEGINNING. THE SOUTH 80.00 FEET OF THE WEST 100.00 FEET SUBJECT TO A DRAINAGE AND/OR UTILITY EASEMENT.

SAID PARCEL CONTAINS 3.74 ACRES MORE OR LESS.

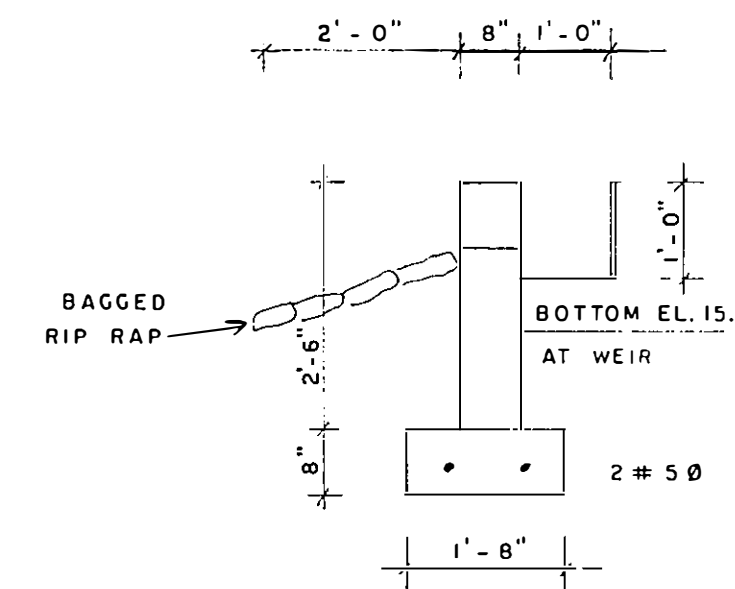
SITE DATA

ZONING	COMMERCIAL	
TOTAL AREA OF PROPERTY	3.74 ACRES	162,925 SF
JURISDICTIONAL AREA	1.86 ACRES	81,903 SF
NET USABLE AREA	1.88 ACRES	81,022 SF
OFFICE AREA		1,288 SF
STORAGE BUILDING		3,000 SF
PAVEMENT AREA		10,740 SF
GRASS AREA		65,994 SF
18.5% IMPERVIOUS		
PARKING REQUIRED	1,288/300 = 5 SPACES	
PARKING PROVIDED	6 SPACES (1 HANDICAPPED)	
FLOOD ZONE B AND C	PANEL 120230 0352C	3/15/84
IRRIGATION BY SPRINKLER SYSTEM		

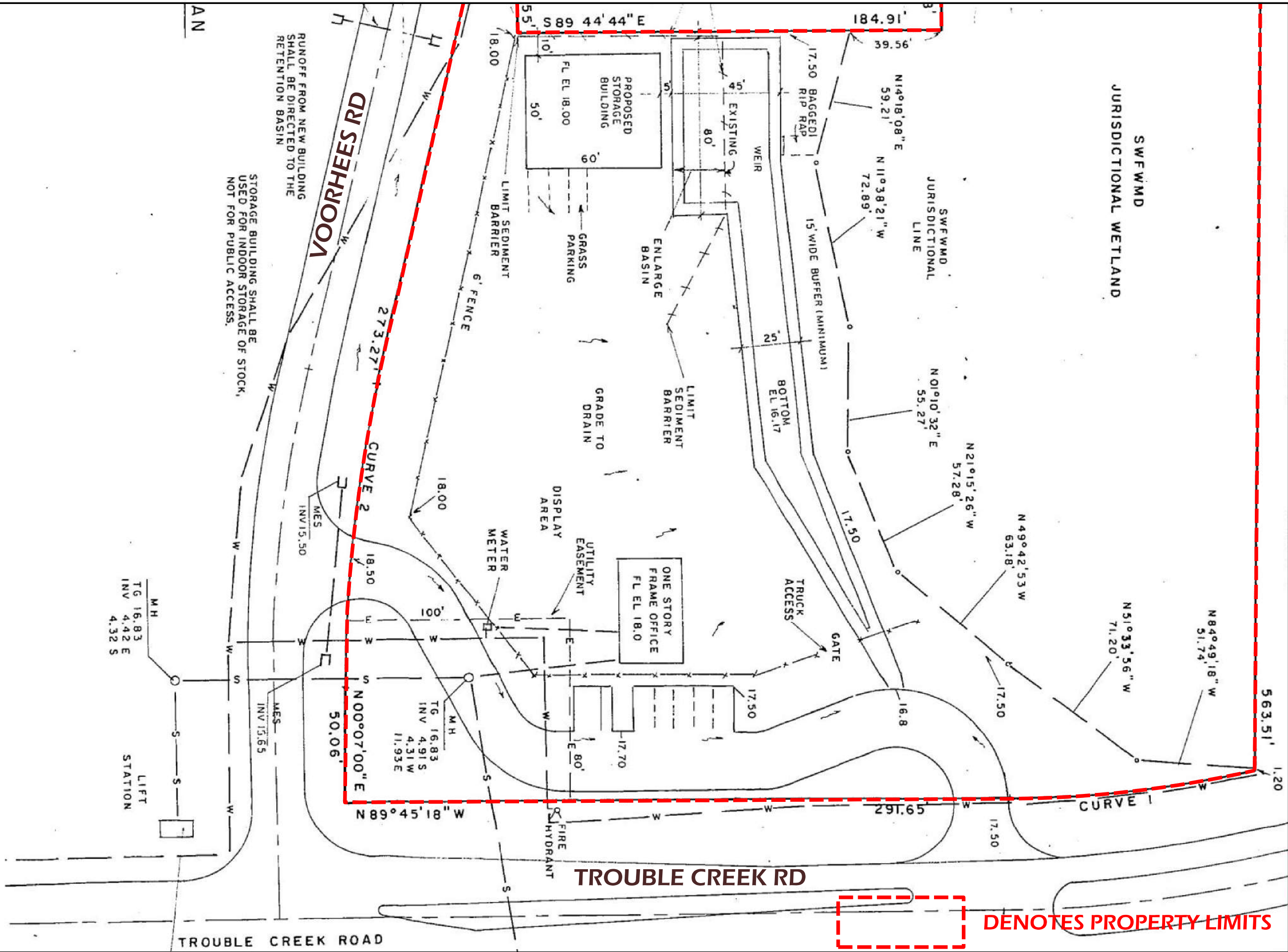
SITE PLAN
1" = 40'



RETENTION BASIN
1/4" = 1'-0"



EXISTING OUTLET WEIR
1/2" = 1'-0"

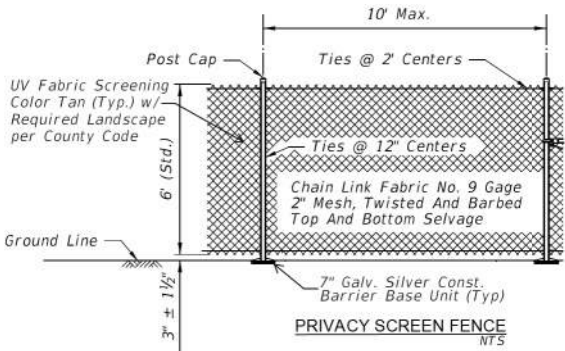


DENOTES PROPERTY LIMITS

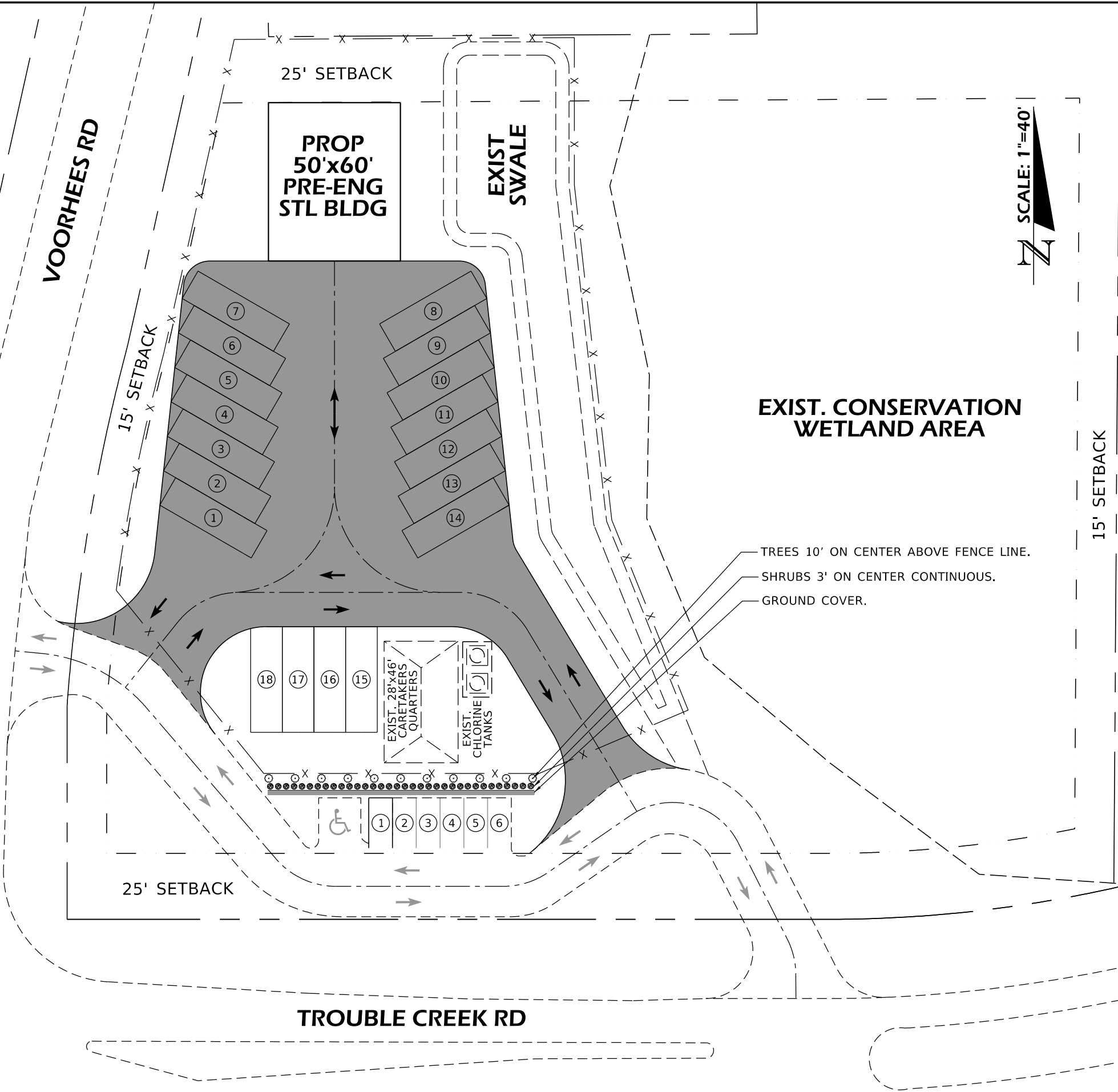
	ENGINEERING CONSULTANT:		REVIEWING AGENCY:		PROPERTY OWNER:	PROJECT:	DATE:	REVISION NO.:
	RJI PROFESSIONAL ASSOCIATES, LLC 4316 FOXGLEN LN, TAMPA, FL 33624 PHONE: (813) 455-6787 EMAIL: rjipalco@gmail.com RONALD J. LEDER, JR., P.E. #68160		CITY OF NEW PORT RICHEY PLANNING & DEVELOPMENT DEPT CITY HALL, 5919 MAIN ST, 1ST FLR NEW PORT RICHEY, FL 34652 PHONE: (727) 853-1044		ROBERT & DIANA BYRNES PHONE: (727) 271-5504 PROPERTY ADDRESS: 6727 TROUBLE CREEK ROAD NEW PORT RICHEY, FL 34653	REZONING MODIFICATION FOR VEHICULAR OUTDOOR STORAGE	9/12/2023	
					DRAWING TITLE: EXIST. SITE PLAN [EXPANDED]	DRAWING NO.:	DWG - 5	

LEGEND:

- EXIST. PROP. LINE
- x - EXIST. FENCE LINE
- - - EXIST. SETBACK LINE
- - - Q OF ACCESSWAY
- █ PROP. DEVELOPED AREA LIMITS
- ← EXIST. TRAFFIC FLOW DIRECTION
- ↔ PROP. TRAFFIC FLOW DIRECTION
- Ⓢ PROP. 12' x 40' PARKING STALL



EXIST PERIMETER SCREENED FENCE (SEE DETAIL ABOVE) NTS



ENGINEERING CONSULTANT:		REVIEWING AGENCY:	PROPERTY OWNER:	PROJECT:	DATE:	REVISION NO.:
 R/L PROFESSIONAL ASSOCIATES, LLC 4316 FOXGLEN LN, TAMPA, FL 33624 PHONE: (813) 455-6787 EMAIL: rjpalic@gmail.com RONALD J. LEDER, JR., P.E. #68160	CITY OF NEW PORT RICHEY PLANNING & DEVELOPMENT DEPT CITY HALL, 5919 MAIN ST, 1ST FLR NEW PORT RICHEY, FL 34652 PHONE: (727) 853-1044	ROBERT & DIANA BYRNES PHONE: (727) 271-5504	REZONING MODIFICATION FOR VEHICULAR OUTDOOR STORAGE	9/12/2023		
				DRAWING NO:		
				DRAWING TITLE:		
				PROP. SITE PLAN IMPROVEMENTS	DWG - 6	

