

**CONSULTANTS**

CIVIL ENGINEER  
**COASTAL DESIGN CONSULTANTS, INC.**  
 7026 LITTLE ROAD  
 NEW PORT RICHEY, FLORIDA 34854  
 (727) 849-8010  
 EMAIL: INFO@COASTALDESIGNCONSULTANTS.COM

SURVEY SERVICES:  
**GeoPoint Surveying, INC.**  
 1403 East 5th Avenue  
 TAMPA, FL 33606-5021  
 (813) 246-8888  
 EMAIL: JWEIGLE@GEOPOINTSURVEY.COM

**PRELIMINARY / CONSTRUCTION PLANS  
 AND STORMWATER MANAGEMENT PLAN**

FOR

**RESIDENCES  
 AT ORANGE LAKE**

6571 CIRCLE BOULEVARD  
 NEW PORT RICHEY FLORIDA  
 PIN: 05-26-16-0030-04900-0010  
 PIN: 05-26-16-0030-07500-0010  
 PIN: 05-26-16-0030-07400-0140  
 PIN: 05-26-16-0030-07500-0030

**LOCATION MAP**



**UTILITY SUPPLIERS**

BRIGHT HOUSE NETWORKS- CITRUS  
 MIKE KIKER  
 30432 SR 54  
 WESLEY CHAPEL, FL 33543  
 813-862-0522 Ext: 84263

CLEARWATER GAS SYSTEMS  
 JORGE HERNANDEZ  
 400 N MYRTLE AVE  
 CLEARWATER, FL 33755  
 727-562-4900 Ext: 7423

DUKE ENERGY  
 MEISHA BARNARD  
 4359 SE MARICAMP RD  
 OCALA, FL 34480  
 352-694-8521

NEW PORT RICHEY PUBLIC WORKS  
 (POTABLE WATER, RECLAIMED WATER,  
 SANITARY SEWER AND STORM WATER  
 UTILITIES)  
 ROBERT RIVERA  
 PUBLIC WORKS DIRECTOR CITY OF NEW PORT  
 RICHEY  
 727-841-4556

FRONTIER COMMUNICATIONS  
 CARLOS BATES  
 3712 W. WALNUT ST  
 TAMPA, FL 33607  
 941-906-6709

**DEVELOPER:**  
 PEOPLE PLACES, LLC  
 3104 ALACHUA PLACE  
 NEW PORT RICHEY, FL, 34655

**PREPARED BY:**



7026 LITTLE ROAD  
 NEW PORT RICHEY, FL 34654  
 PH: 727-849-8010  
 FAX: 727-849-8020  
 C. A. # 00009572

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MAR 22 2017

DEVELOPMENT DEPARTMENT  
 CITY OF NEW PORT RICHEY

*Approved by DRC 3-23-17*

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"THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE CURRENT VERSION OF THE "MANUAL UNIFORM MINIMUM STANDARDS FOR HIGHWAYS, STATE OF FLORIDA" AND ARE IN COMPLIANCE WITH THE STANDARDS THEREIN EXCEPT AS NOTED ON THE PLANS. ANY DEVIATIONS NOTED ON THE PLANS SUBSTANTIALLY COMPLY WITH THE INTENT OF THE STANDARDS."



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**AGENCY APPROVALS**

**REVISIONS**

AGENCY	PERMIT TYPE	DATE SUBM.	DATE APP.	PERMIT NO.	EXP. DATE	DATE	REV. BY	REV. NO.	REVISION

PROJECT NUMBER: 16021  
 DATE: NOVEMBER, 2016

ENGINEER : GREGORY B. WEGENER, P.E.

PROFESSIONAL ENGINEER FLORIDA REGISTRATION NO. 54876

TECHNICAL SPECIFICATIONS

ALL SITE AND UTILITY WORK PERFORMED ON THIS PROJECT SHALL BE GOVERNED BY APPLICABLE PROVISIONS OF NEW PORT RICHEY AND THE HAWAIIAN TERRITORIES DEPARTMENT OF...

- 1. NEW PORT RICHEY PUBLIC WORKS DEPARTMENT FOR CONSTRUCTION OF ROADS, STORM DRAINAGE AND UTILITIES.
2. NEW PORT RICHEY PUBLIC WORKS DEPARTMENT STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER AND RECLAIMED WATER FACILITIES.

GENERAL CONSTRUCTION NOTES

- 1. LOCATIONS ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1988 (NAD83) UNLESS OTHERWISE SPECIFIED. ELEVATION SHALL BE PROVIDED BY GEOPOINT SURVEYING, INC.
2. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS...

PAVING, GRADING & DRAINAGE NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRETECTING EXISTING ADJACENT COLLAPSE AND WILL PROVIDE BRACING, SHIELDING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED AND RE-OPENING SHALL BE USED AS REQUIRED.
2. IT MAY BE NECESSARY TO FIELD ADJUST ELEVATION ELEVATIONS TO PREVENT THE ROOF SYSTEMS OF TREES SHOWN TO BE SAVED. THE CONTRACTOR IS TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION CHANGES.

PAVING, GRADING & DRAINAGE TESTING & INSPECTION REQUIREMENTS

- 1. THE STORM DRAINAGE PIPING AND FILTRATION SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. THE CONTRACTOR IS TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION.
2. THE CONTRACTOR SHALL MAINTAIN THE STORM DRAINAGE SYSTEMS UNTIL FINAL ACCEPTANCE OF THE PROJECT.

CLEARING AND GRUBBING NOTES

- 1. CLEARING AND GRUBBING FOR PURPOSES OF THE PROJECT DESCRIBED HEREIN SHALL BE IN ACCORDANCE WITH SECTION 110 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2019.
2. ALL VEGETATION, STRUCTURES, MATERIALS AND FILL UNSUITABLE FOR CONSTRUCTION AND OF NO SAVANAGE VALUE TO THE OWNER SHALL BE REMOVED BY THE CONTRACTOR AND SHALL BE DISPOSED OF BY THE CONTRACTOR.

EROSION CONTROL NOTES

- 1. DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SEDIMENT BAY, SOFT, BONE, ETC. WHICH SHALL BE MAINTAINED AND MONITORED AS REQUIRED BY CONSTRUCTION PROGRAMS.
2. ALL EROSION AND SEDIMENT CONTROL METHODS SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.

DEWATERING PLAN / NOTES

- 1. Dewatering activities shall be contained within the project area.
2. THE PROPOSED DRAINAGE RETENTION AREAS CAN BE USED AS TEMPORARY SETTLING AREAS FOR DEWATERING ACTIVITIES. THE PROPOSED DRAINAGE RETENTION AREAS SHALL BE CONSTRUCTED TO A SURFACE SIZE AND DEPTH TO RECEIVE WATER FROM DEWATERING ACTIVITIES. IF AT ANY TIME STAGNANT WATER WITHIN THE RETENTION AREA APPROACHES 6 INCHES OF THE PROPOSED FLOOR TOP-OF-SWAK, DEWATERING ACTIVITIES SHALL STOP. THE RETENTION VOLUME HAS INCREASED.

GENERAL UTILITY NOTES

- 1. NO CONNECTION TO THE EXISTING UTILITY LINES SHALL BE MADE WITHOUT PERMIT OF THE LOCAL GOVERNING UTILITY DEPARTMENT.
2. ALL AREAS OBTAINED BY THE CONSTRUCTION SHALL BE BORED WITH BURN AND / OR BENCH EXISTING GRASS TYPE.
3. ALL UTILITY LINES SHALL HAVE AN "EARLY WARNING" PROTECTION TAPE INSTALLED CONTINUOUSLY ALONG THE PIPE ALIGNMENT. IN THE CASE OF QUANTITY SERVICES, THE TAPE SHALL BE BORED TO EACH MANHOLE. THE PROTECTION TAPE SHALL BE INSTALLED ABOVE THE PIPE AND BELOW THE GRADE SURFACE UNDER THE PIPE. THE TAPE SHALL HAVE A METALLIC DETECTABLE STRIP SANDWICHED BETWEEN 2 LAYERS OF POLYETHYLENE, 2" IDEE STRIPPED WITH A THICKNESS OF 3.0 MILS.

WATER/SEWER CLEARANCE REQUIREMENTS:

- 1. THE PROPOSED PIPE SHALL BE CONSTRUCTED OF PRESSURE RATED PVC PIPE (MEETING THE AWWA C-900 OR C-905 SPECIFICATIONS) AND SHALL BE PRESSURE TESTED AT 150 PSI TO AVERAGE THROUGH PRIOR TO BACKFILL.
2. EITHER THE WATER MAIN OR THE OTHER PIPE SHALL BE BORED IN A MANNER OTHER PIPE. THE OWNER PIPE SHALL BE OF MATERIALS APPROVED BY THE F.A.C.P. FOR USE IN WATER MAIN CONSTRUCTION.

SANITARY SEWER NOTES

- 1. ALL SANITARY SEWER MAINS & LATERAL SHALL HAVE A MINIMUM OF 36" OF COVER BASED ON FINAL OPENING.
2. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.

SANITARY SEWER TESTING & INSPECTION REQUIREMENTS

- 1. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
2. CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SHD TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL, COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.

REUSE SYSTEM TESTING AND INSPECTION REQUIREMENTS

- 1. A HYDROSTATIC TEST CONSISTING OF A PRESSURE TEST AND A LEAKAGE TEST SHALL BE CONDUCTED ON ALL NEWLY-INSTALLED REUSE DISTRIBUTION SYSTEM PRESSURE PIPES AND APPURTENANCES. THESE TESTS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF A.W.W.A. C500 FOR DUCTILE IRON PIPES, C900 FOR PVC PIPES AND SHALL BE PERFORMED IN ACCORDANCE WITH THE GOVERNING WATER DEPARTMENT SPECIFICATIONS.
2. THE CONTRACTOR SHALL NOTIFY AND SCHEDULE THE ATTENDANCE OF THE OWNER'S ENGINEER AND THE GOVERNING WATER DEPARTMENT'S INSPECTORS DURING THE PRESSURE TESTS.

WATER SYSTEM NOTES

- 1. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER BASED ON FINAL OPENING.
2. ALL WATER SYSTEM WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
3. ALL DUCTILE IRON PIPE SHALL BE CLASS 50 IN ACCORDANCE WITH AWWA/C100/A140 AND PIPE SHALL RECEIVE EXTERIOR BITUMASTONE COATING AND SHALL BE CEMENT MORTAR LINED, STANDARD THICKNESS, IN ACCORDANCE WITH AWWA/C104/A14.4.

WATER SYSTEM TESTING AND INSPECTION REQUIREMENTS

- 1. ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESSURE TESTED AND ACCEPTED BY THE OWNER'S ENGINEER. PRESSURE TESTS TO BE IN ACCORDANCE WITH WATER DEPARTMENT SPECIFICATIONS.
2. CONTRACTOR TO NOTIFY OWNER'S ENGINEER AND WATER DEPARTMENT INSPECTORS 48 HOURS IN ADVANCE OF PERFORMING TESTS.

SANITARY SEWER NOTES

- 1. ALL SANITARY SEWER MAINS & LATERAL SHALL HAVE A MINIMUM OF 36" OF COVER BASED ON FINAL OPENING.
2. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.

SANITARY SEWER TESTING & INSPECTION REQUIREMENTS

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REUSE SYSTEM TESTING AND INSPECTION REQUIREMENTS

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2. THE CONTRACTOR SHALL NOTIFY AND SCHEDULE THE ATTENDANCE OF THE OWNER'S ENGINEER AND THE GOVERNING WATER DEPARTMENT'S INSPECTORS DURING THE PRESSURE TESTS.

DIRECTIONAL DRILLING OPERATIONS

- 1. PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) HANDED, STORED, JOINED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND THE SPECIFICATIONS HEREIN.
2. PRE-DATE PIPE ENTRY AND RESERVING AREAS TO PROVIDE A GRADUAL ENTRY OF THE PIPE WITHOUT STRESS TO THE PIPE OR JOINTS AND TO ALLOW FREE MOVEMENT INTO THE BORE HOLE.
3. IF UNEXPECTED SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING THE BORE, THE PROCEEDURE SHALL BE STOPPED. THE INSTALLATION SHALL NOT CONTINUE UNTIL APPROVAL HAS BEEN GIVEN BY THE ENGINEER.

MINIMUM REQUIRED UTILITY AS-BUILTS

- 1. ALL DIMENSIONS SHALL BE IN FEET MEASURED OFF THE CENTERLINE OF ROADS OR OTHER PERMANENT STRUCTURES OR FROM THE TACK OFF OF THE CENTERLINE OF ROAD.
2. AS-BUILTS SHALL BE SUBMITTED, SIGNED AND SEALED BY A PROFESSIONAL SURVEYOR REGISTERED IN THE STATE OF FLORIDA.
3. WATER LINES SHALL BE MEASURED OFF CENTERLINES OF PAVEMENT.
4. FITTINGS, VALVES, TAPS AND OTHER WATER APPURTENANCES SHALL BE MEASURED USING DESCRIPTIVE NOTES INDICATING THEIR EXACT LOCATION.

PROTECTIVE TREE BARRIER NOTES

- 1. PROTECTIVE BARRIERS SHALL BE INSTALLED DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES TO PROTECT TREES AND NATURAL AREA TO BE RETAINED ON SITE.
2. PROTECTIVE BARRIERS SHALL BE ERRECTED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR AS WELL AS ALONG NATURAL AREAS WHERE SUCH AREAS ARE ADJACENT TO PERMITTED LAND ALTERATION OR CONSTRUCTION ACTIVITIES. A PROTECTIVE BARRIER MUST REMAIN IN PLACE UNTIL THE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETE OR UNTIL COMPLETION OF GRASS PLANTING AND SOCCING. NO GRASSING DISTURBANCE MUST OCCUR WITHIN THE BARRICADED AREA.

GENERAL NOTES
RESIDENCES AT ORANGE LAKE
6571 CIRCLE BOULEVARD
NEW PORT RICHEY FL 34652

GREGORY B. WIEGNER, P.E.
P.E. #54870

COASTAL DESIGN CONSULTANTS
PLANNING • ENGINEERING • CONSTRUCTION ADMINISTRATION
7928 LITTLE ROCK • NEW PORT RICHEY, FLORIDA 34654
727-849-6600 • CAL 400000252

Table with columns: DATE, REV. NO., REVISION, COMMENTS. Includes a row for 'REUSE OF DOCUMENT' and a row for 'REVISION'.

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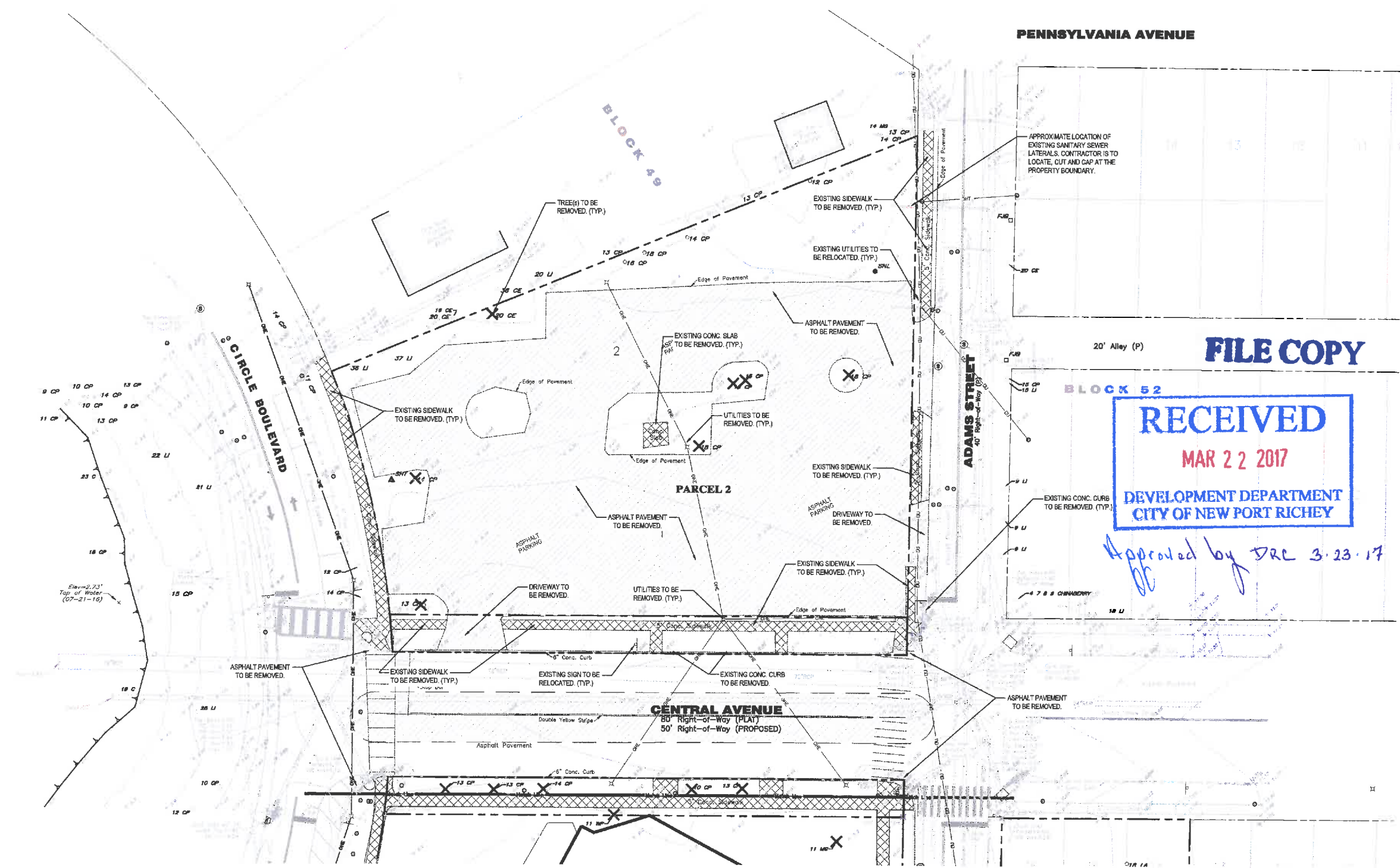
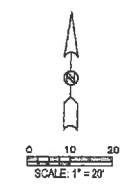
Approved by: [Signature] 3-23-17

**TREE LEGEND**

C --- CYPRESS	LU --- LIVE OAK
CE --- CEDAR TREE	MG --- SOUTHERN MAGNOLIA
CL --- CHERRY LAUREL	SL --- SLASH PINE (YELLOW PINE)
CP --- CARBON PALM (SABAL PALM)	WP --- WASHINGTON PALM
LA --- LAUREL OAK (DIAMOND OAK)	
X 12 C --- TREE TO BE REMOVED	

**LEGEND**

---	BOUNDARY/RIGHT-OF-WAY
[Hatched Box]	EXISTING ASPHALT PAVEMENT TO BE REMOVED.
[Cross-hatched Box]	EXISTING CONCRETE SIDEWALK TO BE REMOVED.



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DEVELOPMENT DEPARTMENT  
CITY OF NEW PORT RICHEY

*Approved by DRC 3.23.17*

**DEMOLITION PLAN**

RESIDENCES AT ORANGE LAKE  
6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FL 34652

GREGORY B. WEGENER P.E.  
P.E. # 54876

**COASTAL**  
DESIGN CONSULTANTS

PLANNING - ENGINEERING - CONSTRUCTION ADMINISTRATION  
7054 LITTLE ROAD - NEW PORT RICHEY, FLORIDA 34654  
727-849-6450 - FAX 727-849-0000

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	GBW	1	ISSUED TO ADDRESS CITY COMMENTS

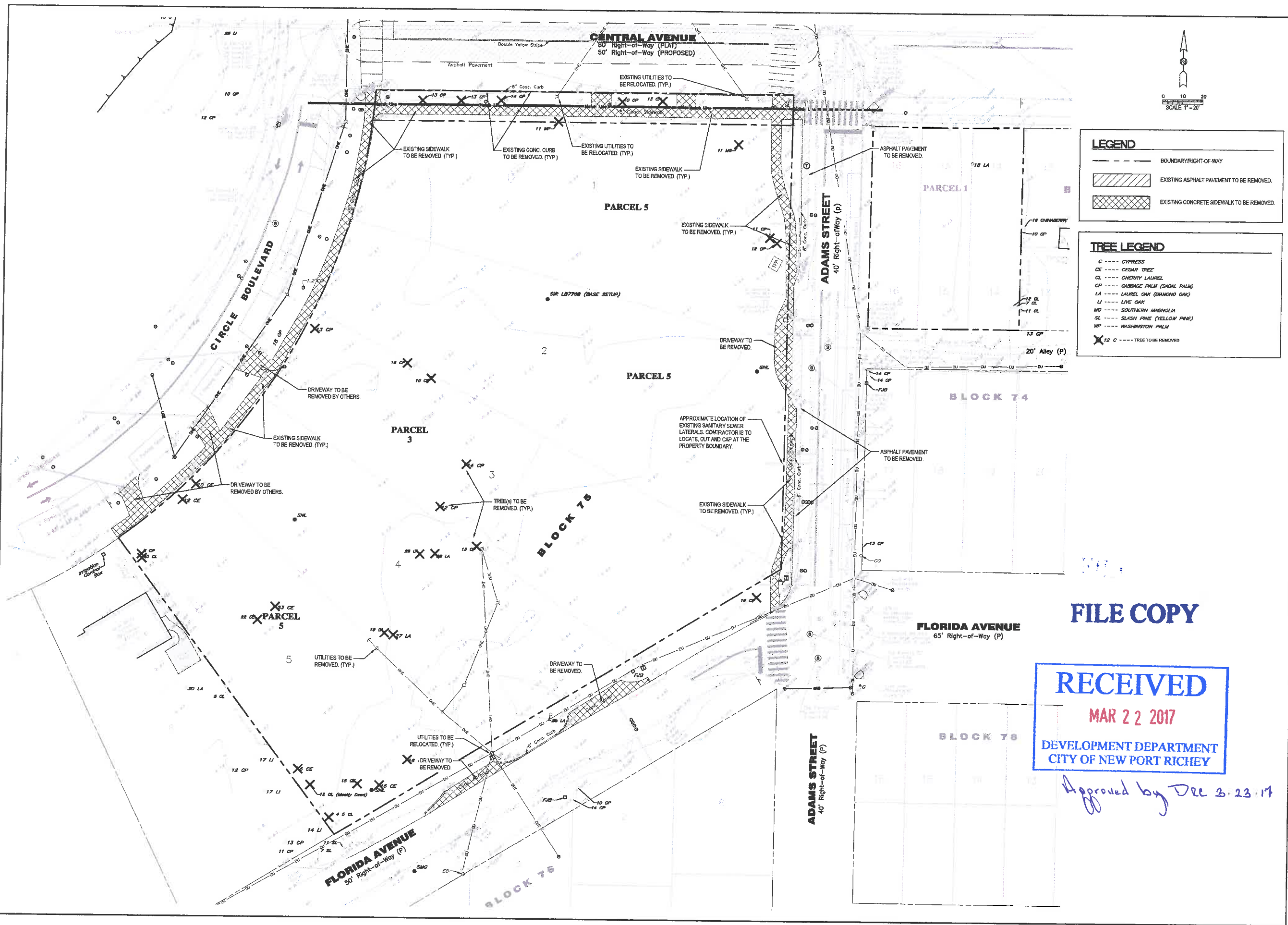
DATE: 05-17-2016

**SHEET**

**C2.0**

JOB No: 16021

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P:\61823\16021\16021 Demolition Plan.dwg, 3/15/2017 9:41:36 AM, DWG TO PDF.dwg



**LEGEND**

- BOUNDARY/RIGHT-OF-WAY
- ▨ EXISTING ASPHALT PAVEMENT TO BE REMOVED
- ▧ EXISTING CONCRETE SIDEWALK TO BE REMOVED

**TREE LEGEND**

- C --- CYPRESS
- CE --- CEDAR TREE
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- LJ --- LIVE OAK
- MD --- SOUTHERN MAGNOLIA
- SL --- SLASH PINE (YELLOW PINE)
- WP --- WASHINGTON PALM
- X 12 C --- TREE TO BE REMOVED

**DEMOLITION PLAN**  
**RESIDENCES AT ORANGE LAKE**  
**6571 CIRCLE BOULEVARD**  
**NEW PORT RICHEY FL 34652**

GREGORY B. WEGENER, P.E.  
 P.E. #94876

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 PLANNING • ENGINEERING • CONSTRUCTION ADMINISTRATION  
 7026 LITTLE ROAD • NEW PORT RICHEY, FLORIDA 34654  
 727-848-0110 • FAX 727-848-8020  
 WWW.COASTALDESIGNCONSULTANTS.COM

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 CITY OF NEW PORT RICHEY

*Approved by Dec 23 17*

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DATE	REV. BY	REV. NO.	REVISION
03/22/17	GW	1	REVISED TO ADDRESS CITY COMMENTS

Designed By: G.B.W. | Drawn By: ALG  
 DATE: 05-17-2016

**NEW PORT RICHEY SITE PLAN NOTES:**

- ALL UTILITY CONSTRUCTION SHALL COMPLY WITH NEW PORT RICHEY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST EDITION.
- ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER-DEVELOPER.
- INSTALLATION OF FUEL STORAGE TANKS REQUIRES REVIEW AND APPROVAL BY THE FIRE MARSHAL AND THE ISSUANCE OF A SEPARATE BUILDING PERMIT. APPROVAL OF THE SITE PLAN DOES NOT CONSTITUTE APPROVAL OF THE LOCATION OF THE FUEL TANKS.
- ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED, AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY APPROVED SITE PLAN. APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.
- HANDICAP PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS. DEVELOPMENT SHALL BE IN COMPLIANCE WITH THE AMERICAN WITH DISABILITIES ACT AND FAIR HOUSING ACT WHERE APPLICABLE.
- ALL ON-SITE PARKING SPACES WILL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPED IN WHITE. IT SHALL BE THE OWNER/DEVELOPER'S RESPONSIBILITY TO PROPERLY SIGN AND STRIPE IN ACCORDANCE WITH APPLICABLE STANDARDS.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN THE CITY RIGHT-OF-WAY. ALL RIGHT-OF-WAY WORK SHALL BE A FUNCTION OF AN APPROVED NEW PORT RICHEY RIGHT-OF-WAY USE PERMIT.
- ALL CLEAR-SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3-1/2) FEET IN HEIGHT.
- NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THE SITE AND ITS SUBSEQUENT BUILDING PERMITS SHALL COMPLY WITH ALL REZONING/MPUD/PLD CONDITIONS.
- ALL STRUCTURES, INCLUDING BUFFER WALLS, RETAINING WALLS, SIGNAGE, ETC. REQUIRE BUILDING PERMITS.
- FUGITIVE DUST CONTROLS SHALL BE EMPLOYED AS NEEDED TO CONTROL WINDBORNE EMISSIONS. ALL PORTIONS OF A LOT UPON WHICH DEVELOPMENT HAS COMMENCED, BUT NOT CONTINUED FOR A PERIOD OF 30 DAYS, SHALL BE PLANTED WITH GRASS SPECIES OR GROUND COVER TO PREVENT EROSION AND ENCOURAGE SOIL STABILIZATION. ADEQUATE COVERAGE, SO AS TO SUPPRESS FUGITIVE DUST, SHALL BE ACHIEVED WITHIN 45 DAYS.
- ANY SIGNIFICANT ALTERATIONS TO THE APPROVED PLANS WILL REQUIRE A RE-SUBMITAL AND APPROVAL BY THE RESPECTIVE GOVERNING AGENCY(S). ANY WORK DONE PRIOR TO THE RESPECTIVE APPROVAL(S) IS AT THE RISK OF THE OWNER, DEVELOPER AND CONTRACTOR. SIGNIFICANT - WILL BE DETERMINED SOLELY BY THE CITY.
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND NEW PORT RICHEY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.

**LEGAL DESCRIPTION:**

**PHASE 1**

**PARCEL 2:**

Lots 1 and 2, Block 49, City of New Port Richey, Florida, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida.

**ALONG WITH North 15' Central Avenue:**

The North 15 feet of Central Avenue Right-of-Way (80' Right-of-Way), as show on the plat of City of New Port Richey, as recorded in Plat Book 4, Page 49, of the Public Records of Pasco County, Florida. Bounded on the West by the East Right-of-Way line of Circle Boulevard. Bounded on the East by the West Right-of-Way line of Adams Street and being more particularly described as follows:

BEGIN at the Southwest corner of Lot 1, Block 49, of said plat of City of New Port Richey, thence S.89°50'57"W, a distance of 207.88 feet along the South boundary of said Lot 1, also being the North right-of-way line of said Central Avenue to the West Right-of-Way line of said Adams Street, thence leaving said South boundary, along the Southerly extension of the West Right-of-Way line of said Adams Street S.00°34'20"W, a distance of 15.00 feet, thence N.89°50'57"W, a distance of 206.47 feet to the Southerly extension of the Easterly Right-of-Way line of said Circle Boulevard, thence along said Southerly extension, Northerly, 15.06 feet along the arc of a non-tangent curve to the left having a radius of 555.00 feet and a central angle of 02°25'48" (chord bearing N.04°46'31"W, 15.06 feet) to the POINT OF BEGINNING.

**PHASE 2**

**PARCEL 3:**

Lot 3, Block 75, City of New Port Richey, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida, LESS the following described portion thereof:

Commence at the most Easterly corner of Lot 3 for a Point of Beginning; thence run along the Southerly boundary of Lot 3, a distance of 85.6 feet to the most Southerly corner of Lot 3; thence Northwesterly along the line between Lots 3 and 4, a distance of 80.90 feet; thence Northeasterly a distance of 94.83 feet to the boundary between Lots 2 and 3; thence Southerly along said boundary between Lot 2 and 3, a distance of 134.80 feet to the Point of Beginning.

**ALONG WITH PARCEL 3:**

Lots 1, 2, 4, and 5, Block 75, and part of Lot 3, Block 75, being further described as follows:

Commence at the most Easterly corner of said Lot 3 for a Point of Beginning; thence run along the Southerly boundary of said Lot 3, 85.6 feet to the most Southerly corner of Lot 3; thence Northwesterly along the line between Lots 3 and 4, 90.99 feet; thence Northeasterly 54.63 feet to the boundary between Lot 2 and 3; thence Southerly along said boundary between Lots 2 and 3, 134.80 feet to the Point of Beginning. Plat of City of New Port Richey, Florida, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida.

**ALONG WITH South 15' Central Avenue:**

The South 15 feet of Central Avenue Right-of-Way (80' Right-of-Way), as show on the plat of City of New Port Richey, as recorded in Plat Book 4, Page 49, of the Public Records of Pasco County, Florida. Bounded on the West by the East Right-of-Way line of Circle Boulevard. Bounded on the East by the West Right-of-Way line of Adams Street and being more particularly described as follows:

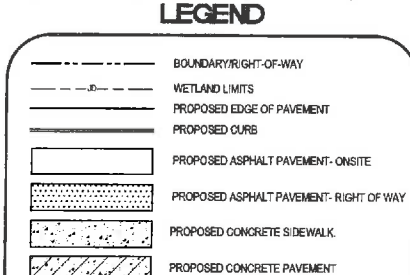
BEGIN at the Northeast corner of Lot 1, Block 75, of said plat of City of New Port Richey; thence along the North boundary of said Lot 1, also being the South right-of-way line of Central Avenue, N.89°50'57"W, a distance of 208.83 feet to the Northeast corner of said Lot 1; thence leaving said North boundary, along the Northerly extension of the East Right-of-Way line of said Circle Boulevard, Northerly, 15.06 feet along the arc of a non-tangent curve to the left having a radius of 300.00 feet and a central angle of 02°52'38" (chord bearing N.05°23'11"E, 15.06 feet); thence S.89°50'57"W, a distance of 207.36 feet; thence along the Northerly extension of the East Right-of-Way line of said Adams Street, S.00°34'20"W, a distance of 15.00 feet to the POINT OF BEGINNING.

**PHASE 3**

**PARCEL 1:**

Lots 14, 15 and 16, Block 74, City of New Port Richey, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida.

**RAND BOULEVARD**  
80' Right-of-Way (R)



**FILE COPY**

**BICYCLE PARKING REQUIRED:**  
85 SPACES REQUIRED X 0.11/SPACE = 9 BICYCLE SPACES REQUIRED

**BICYCLE PARKING PROVIDED:**  
12 SPACES PROVIDED  
THREE IN PHASE ONE, 9 IN PHASE TWO

**RECEIVED**  
MAR 22 2017  
DEVELOPMENT DEPARTMENT  
CITY OF NEW PORT RICHEY

Approved by DEC 3.23.17

**SITE DATA** SECTION 05, TOWNSHIP 26S, RANGE 16E

<b>PROPERTY LOCATION:</b>	PHASE ONE N/A PHASE TWO 6571 CIRCLE BOULEVARD PHASE THREE N/A
<b>PARENT TRACT IDENTIFICATION NUMBER:</b>	PHASE ONE 05 28 16 0030 04900 0010 PHASE TWO 05 28 16 0030 07900 0010 PHASE THREE 05 28 16 0030 07900 0030 05 28 16 0030 07400 0140
<b>ZONING CLASSIFICATION:</b>	PHASE ONE R2 PHASE TWO DOWNTOWN PHASE THREE MF14
<b>FUTURE LAND USE CLASSIFICATION:</b>	PHASE ONE LMDR-10 PHASE TWO DOWNTOWN CORE-40 PHASE THREE DOWNTOWN-20
<b>DEVELOPMENT AREA (PROJECT AREA):</b>	PHASE ONE AREA = 0.814 Ac. PHASE TWO AREA = 1.845 Ac. PHASE THREE AREA = 0.173 Ac. TOTAL AREA = 2.832 Ac.
<b>EXISTING PROPERTY USE:</b>	VACANT
<b>PROPOSED PROPERTY USE:</b>	APARTMENTS
<b>NUMBER OF PROPOSED LOTS:</b>	PHASE ONE = 23 UNITS PHASE TWO = 59 UNITS PHASE THREE = 3 UNITS TOTAL = 85 UNITS
<b>NUMBER OF PROPOSED PHASES:</b>	(3) THREE PHASES
<b>ZONING/CONDITIONAL USE/SPECIAL EXCEPTIONS HISTORY:</b>	PETITION NO. DATE REQUEST ACTION
<b>IMPERVIOUS SURFACE RATIO:</b>	PHASE ONE - 0.582 / 0.814 = 71.5% PHASE TWO - 1.507 / 1.842 = 81.8% PHASE THREE = 80.0% (ASSUMED)

**MINIMUM LOT REQUIREMENTS:**

Phase	Lot	Netback
Phase 1	1	1.00
	2	1.00
Phase 2	1	1.00
	2	1.00
Phase 3	1	1.00
	2	1.00

**MAXIMUM LOT REQUIREMENTS:**

Phase	Building Height	Lot Coverage	Other Requirements
PHASE 1	55'	5,088 SF OR 14% OF LOT COVERAGE IS BUILDING (DOES NOT INCLUDE SIDEWALKS OR PARKING AREA)	
PHASE 2	55'	23,892 SF OR 30% OF LOT COVERAGE IS BUILDING (DOES NOT INCLUDE SIDEWALKS OR PARKING AREA)	
PHASE 3	35'	LOT COVERAGE: 50% OF LOT COVERAGE IS BUILDING (DOES NOT INCLUDE SIDEWALK OR PARKING AREA)	

**PARKING SPACES:** KEEP AT 1 SPACE/UNIT

**REQUIREMENTS:**

23 UNITS X 1.0 SPACE / UNIT = 23.0 (PHASE 1)
59 UNITS X 1.0 SPACE / UNIT = 59.0 (PHASE 2)
3 UNITS X 1.0 SPACE / UNIT = 3.0 (PHASE 3)
<b>85 REQUIRED SPACES</b>

**PARKING PROVIDED:**

PHASE ONE: 31 VEHICULAR SPACES INCLUDING (2) HANDICAP
PHASE TWO: 60 VEHICULAR SPACES INCLUDING (4) HANDICAP
PHASE THREE: 8 VEHICULAR SPACES (ASSUMED)
<b>TOTAL: 97 PROVIDED (ONSITE) AND 32 PROVIDED (OFF-SITE)</b>

**FLOOD ZONE:**  
AE FEMA COMMUNITY PANEL NO. 12101C0188F - DATE:09/28/2014

- SITE DATA NOTES:**
- THERE ARE NO VARIANCES BEING APPLIED FOR.
  - THERE ARE ALTERNATIVE STANDARDS BEING APPLIED FOR.
  - THE PROPOSED DEVELOPMENT SHALL BE PERMITTED IN ONE PHASE.
  - THE PROPOSED DEVELOPMENT IS NOT LOCATED ALONG A ROADWAY LISTED IN THE TRANSPORTATION CORRIDOR PRESERVATION ORDINANCE.
  - THERE ARE NO WETLAND PROTECTIONS AREAS (WPA) OR SPECIAL PROTECTION AREA (SPA) WITHIN 1,000 FEET OF THE PROPOSED DEVELOPMENT AREA.
  - THERE ARE NO EXISTING STRUCTURES WITHIN THE PROPOSED DEVELOPMENT SITE TO BE REMOVED.
  - ELEVATIONS SHOWN ARE IN FEET AND REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
  - THERE ARE NO KNOWN HISTORICAL RESOURCES LOCATED WITHIN THE PROPOSED DEVELOPMENT SITE.
  - THERE ARE NO CATEGORY II WETLAND AREAS LOCATED WITHIN THE PROPOSED DEVELOPMENT.
  - THERE ARE NO EXISTING TREES TO BE REMOVED WITHIN THE PROPOSED DEVELOPMENT SITE.
  - THERE IS NO NEIGHBORHOOD PARK PROPOSED OR REQUIRED WITHIN THE PROPOSED DEVELOPMENT SITE.
  - THERE ARE PROPOSED EASEMENTS WITHIN THE DEVELOPMENT SITE. REFERENCE THE PROPOSED EASEMENTS TABLE.
  - THE PROPOSED DEVELOPMENT IS NOT IDENTIFIED AS AN AREA OF KNOWN ENHANCED AND THREATENED SPECIES AS SHOWN ON MAPS 3-1A, 3-1B, OR 3-1C IN THE NEW PORT RICHEY COMPREHENSIVE PLAN.
  - THE PROPOSED DEVELOPMENT IS NOT A LARGE SCALE COMMERCIAL SITE.
  - THE PROPOSED DEVELOPMENT IS NOT LOCATED IN THE US 10 CONCURRENT ZONE.

**PRELIMINARY SITE PLAN**  
RESIDENCES AT ORANGE LAKE  
6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FL 34652

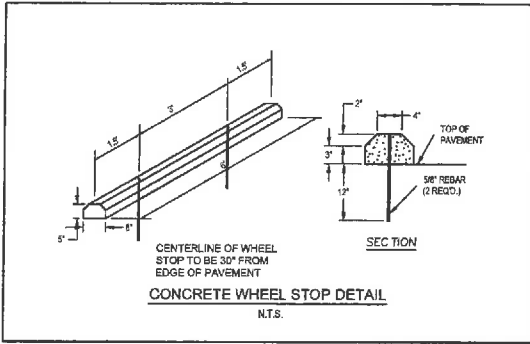
**COASTAL DESIGN CONSULTANTS**  
PLANNING • ENGINEERING • CONSTRUCTION ADMINISTRATION  
7056 LITTLE ROAD, NEW PORT RICHEY, FLORIDA 34654  
727-848-8448 FAX 727-848-8020  
C.D.# 00009272

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DESIGNED BY: G.B.W.	DRAWN BY: ALG
REV. NO.	REVISION
DATE	REV. BY
03/22/2017	GRW
03/22/2017	GRW
03/22/2017	GRW

**SHEET**  
**C3.0**  
JOB NO: 16021

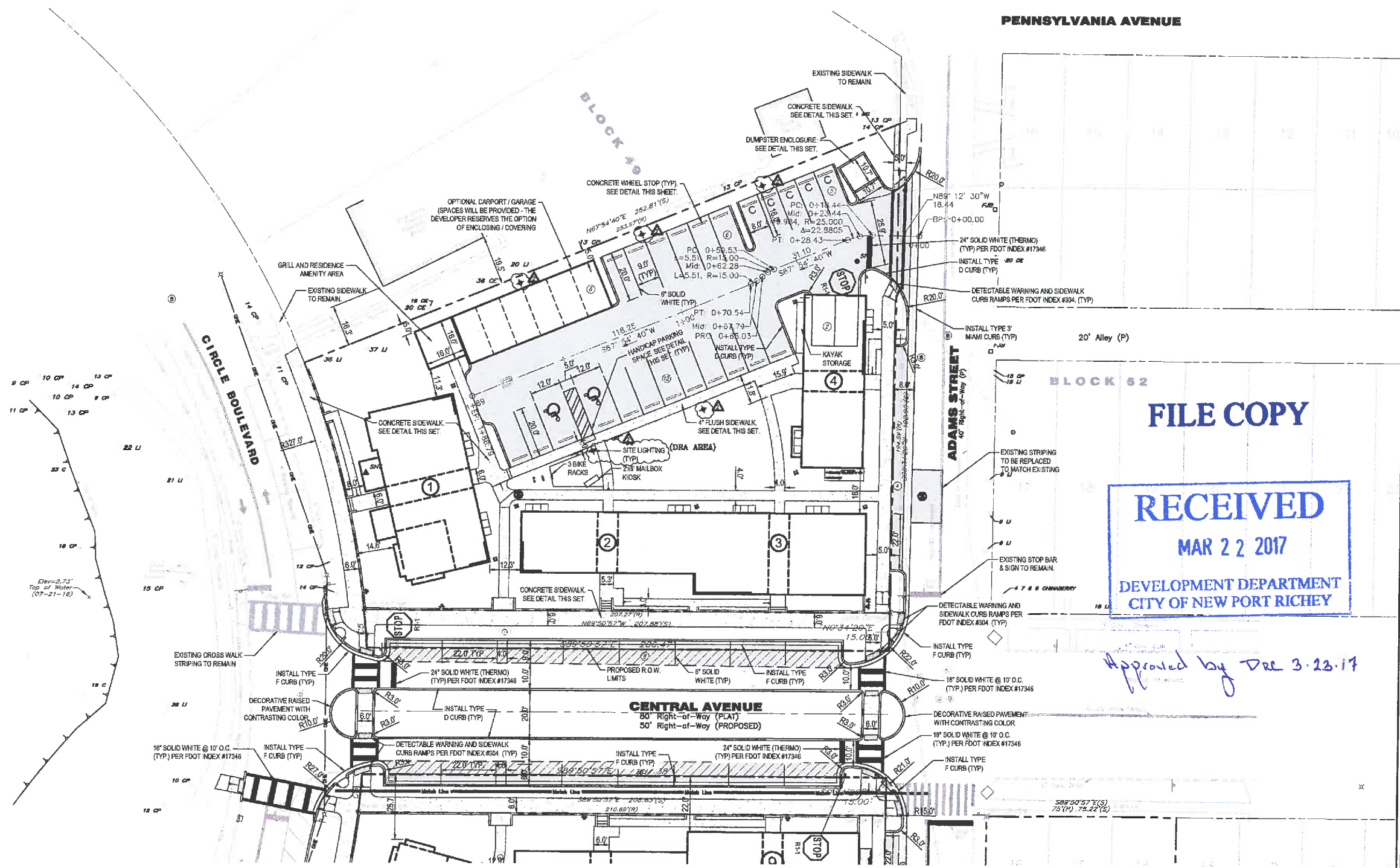
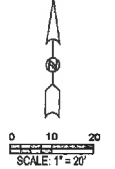
S:\MCC\Projects\16021\_Residences at Orange Lake\Drawings\Construction\16021\_C3.0\_Preliminary Site Plan.dwg, 3/16/2017 13:44:05, ANL DWS To PDF.plt



- SIGNING/MARKING NOTES**
1. ALL PROPOSED ON-SITE PAVEMENT MARKINGS SHALL BE TRAFFIC GRADE PAINT.
  2. ALL PROPOSED PAVEMENT MARKINGS WITHIN NEW PORT RICHEY ROW SHALL BE THERMOPLASTIC EXCEPT FOR PARKING WHICH SHALL BE TRAFFIC GRADE PAINT.
  3. ALL PROPOSED PAVEMENT MARKINGS SHALL BE PER FDOT INDEX NO. 17346.
  4. ALL PROPOSED SIGNS SHALL BE STANDARD FDOT REGULATION SIZED SIGNS.

**LEGEND**

- BOUNDARY/RIGHT-OF-WAY
- WETLAND LIMITS
- PROPOSED ASPHALT PAVEMENT- ON-SITE
- PROPOSED ASPHALT PAVEMENT- RIGHT OF WAY
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT



**FILE COPY**

**RECEIVED**  
MAR 22 2017  
DEVELOPMENT DEPARTMENT  
CITY OF NEW PORT RICHEY

*Approved by Dec 3.23.17*

**SIGNAGE AND HORIZONTAL CONTROL PLAN**

RESIDENCES AT ORANGE LAKE  
6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FL 34652

GREGORY B. WESGNER, P.E.  
P.E. #151876

**COASTAL DESIGN CONSULTANTS**

PLANNING • ENGINEERING • CONSTRUCTION ADMINISTRATION  
7028 LITTLE ROAD • NEW PORT RICHEY, FLORIDA 34854  
727-843-6344 • FAX 727-843-0000

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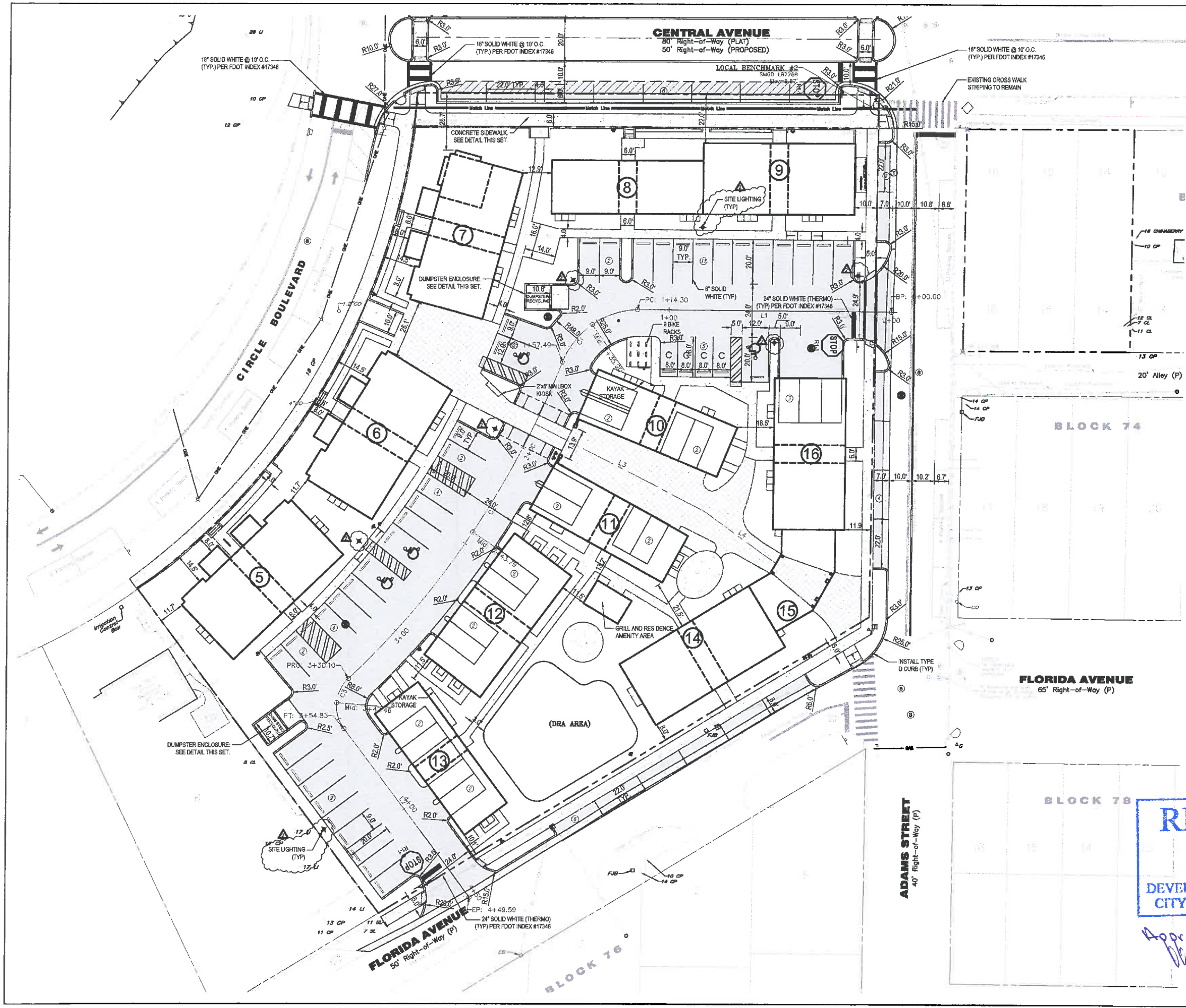
DATE	BY	REVISION

**SHEET C4.0**

DATE: 05-17-2016  
JOB NO.: 16021

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P:\DWGTOPLT\DWGTOPLT.plt

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**LEGEND**

- BOUNDARY/RIGHT-OF-WAY
- - - WETLAND LIMITS
- ▨ PROPOSED ASPHALT PAVEMENT-ONSITE
- ▩ PROPOSED ASPHALT PAVEMENT-RIGHT OF WAY
- ▧ PROPOSED CONCRETE SIDEWALK
- ▦ PROPOSED CONCRETE PAVEMENT

**PHASE TWO ROADWAY**

Number	Length	Radius	Line/Chord Direction	A Value
L1	114.302		N89° 31' 54.67"W	
L4	39.705		S54° 12' 36.99"E	
C1	43.187	37.000	S54° 35' 41.90"W	
L3	85.977		S62° 49' 52.74"E	
C2	172.607	391.185	S33° 47' 50.90"W	
C3	24.731	17.000	S4° 45' 45.74"W	
L2	94.763		S38° 54' 45.72"E	

**FILE COPY**

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 MAR 22 2017  
 DEVELOPMENT DEPARTMENT  
 CITY OF NEW PORT RICHEY

*Approved by DRC 3.23.17*

**SIGNAGE AND HORIZONTAL CONTROL PLAN**  
**RESIDENCES AT ORANGE LAKE**  
**6571 CIRCLE BOULEVARD**  
**NEW PORT RICHEY FL 34652**

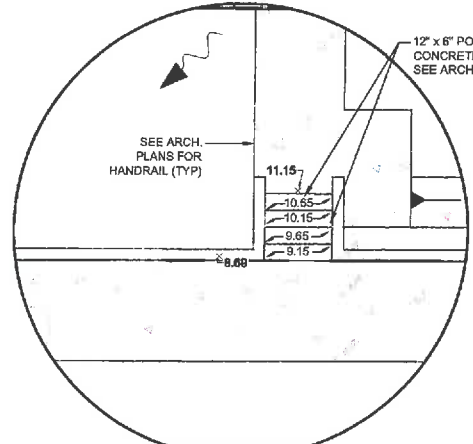
GREGORY B. WEGENER, P.E.  
 P.E. #54878

**COASTAL**  
**DESIGN CONSULTANTS**  
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 7026 LITTLE ROAD • NEW PORT RICHEY, FLORIDA 34654  
 727-848-8010 • FAX 727-848-8022

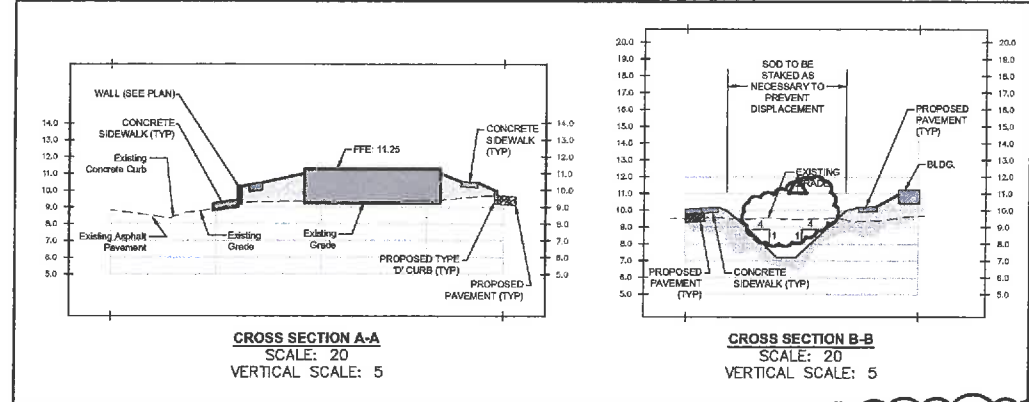
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DATE	REVISION	DESIGNED BY	DRAWN BY
02/28/17	1	ALC	ALC
03/15/17	2	ALC	ALC

SHEET  
**C4.1**  
 JOB No.: 16021

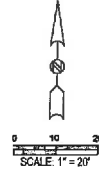
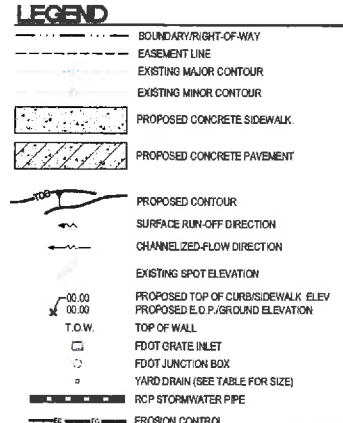


**AREA DETAIL 'D'**  
SCALE: 1" = 5'



**CROSS SECTION A-A**  
SCALE: 20  
VERTICAL SCALE: 5

**CROSS SECTION B-B**  
SCALE: 20  
VERTICAL SCALE: 5



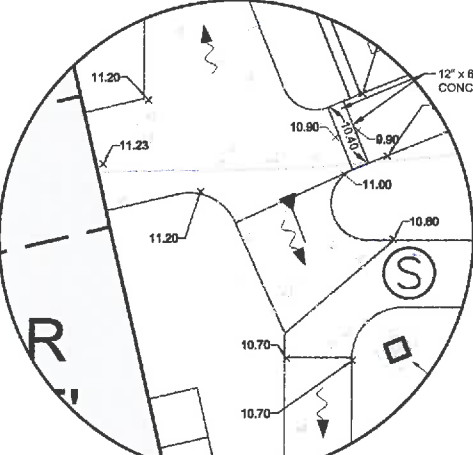
**STORMWATER NOTE:**  
ALL STORM STRUCTURES SHALL INCLUDE STRUCTURE BOTTOM THAT WILL ACCOMMODATE ALL PROPOSED PIPE(S) SIZES AND ANGLES.

**NOTE:**  
CONTRACTOR TO CONFIRM POSITIVE DRAINAGE AND ADA COMPLIANCE OF ALL SIDEWALKS PRIOR TO POURING CONCRETE.

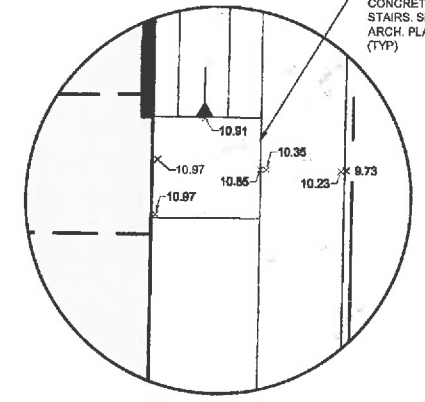
**NOTE:**  
MINIMUM FINISH FLOOR ELEVATION IS THE HIGHEST OF THE FOLLOWING: ONE FOOT ABOVE BASE FLOOD ELEVATION AND AS INDICATED BELOW.

**WELL NOTE:**  
ON-SITE WELL(S) ARE TO BE ABANDONED BY A FLORIDA LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL RULES AND LAWS.

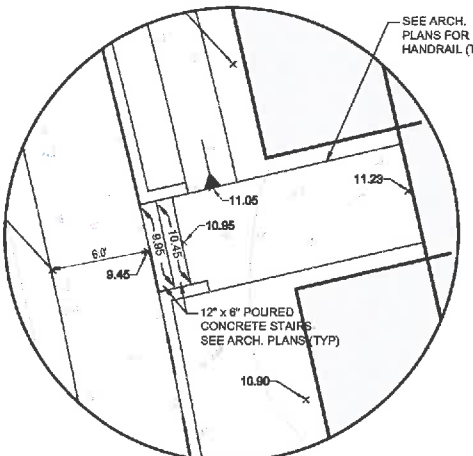
SEE SHEET D3 FOR PORTIONS OF BUILDINGS THAT ARE TO HAVE GUTTER SYSTEMS AND DOWNSPOUTS ROUTED TO STORMWATER POND.



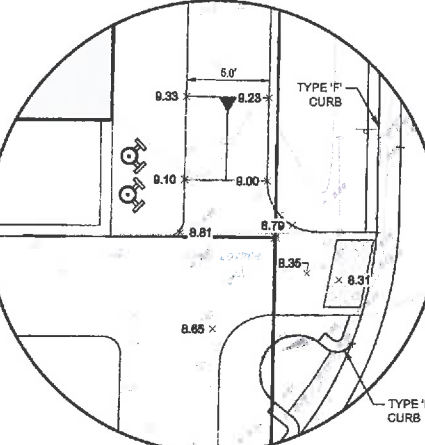
**AREA DETAIL 'E'**  
SCALE: 1" = 5'



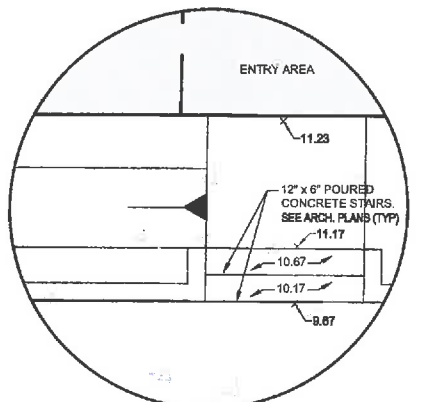
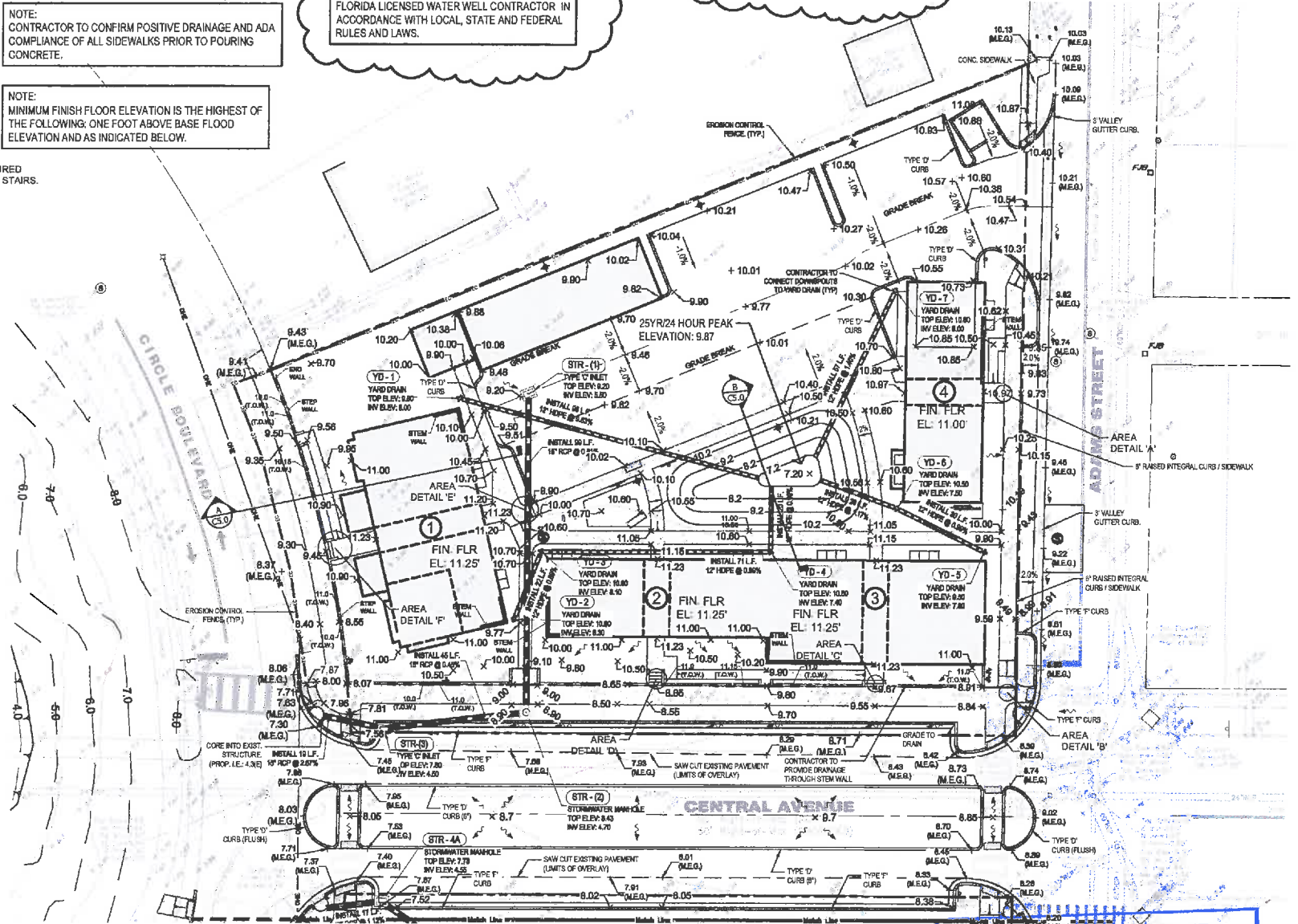
**AREA DETAIL 'A'**  
SCALE: 1" = 5'



**AREA DETAIL 'F'**  
SCALE: 1" = 5'



**AREA DETAIL 'B'**  
SCALE: 1" = 5'



**AREA DETAIL 'C'**  
SCALE: 1" = 5'

**PAVING, GRADING AND DRAINAGE PLAN**  
**RESIDENCES AT ORANGE LAKE**  
6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FL 34652

GREGORY B. WEGENER, P.E.  
P.E. #58076

**COASTAL DESIGN CONSULTANTS**  
PLANNING - ENGINEERING - CONSTRUCTION ADMINISTRATION  
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DATE	REV. BY	REV. NO.	REVISION
03/22/17	GRW	1	REVISED TO ADDRESS CITY COMMENTS
03/23/17	GRW	2	ADDED NOTE REGARDING DOWNSPOUTS

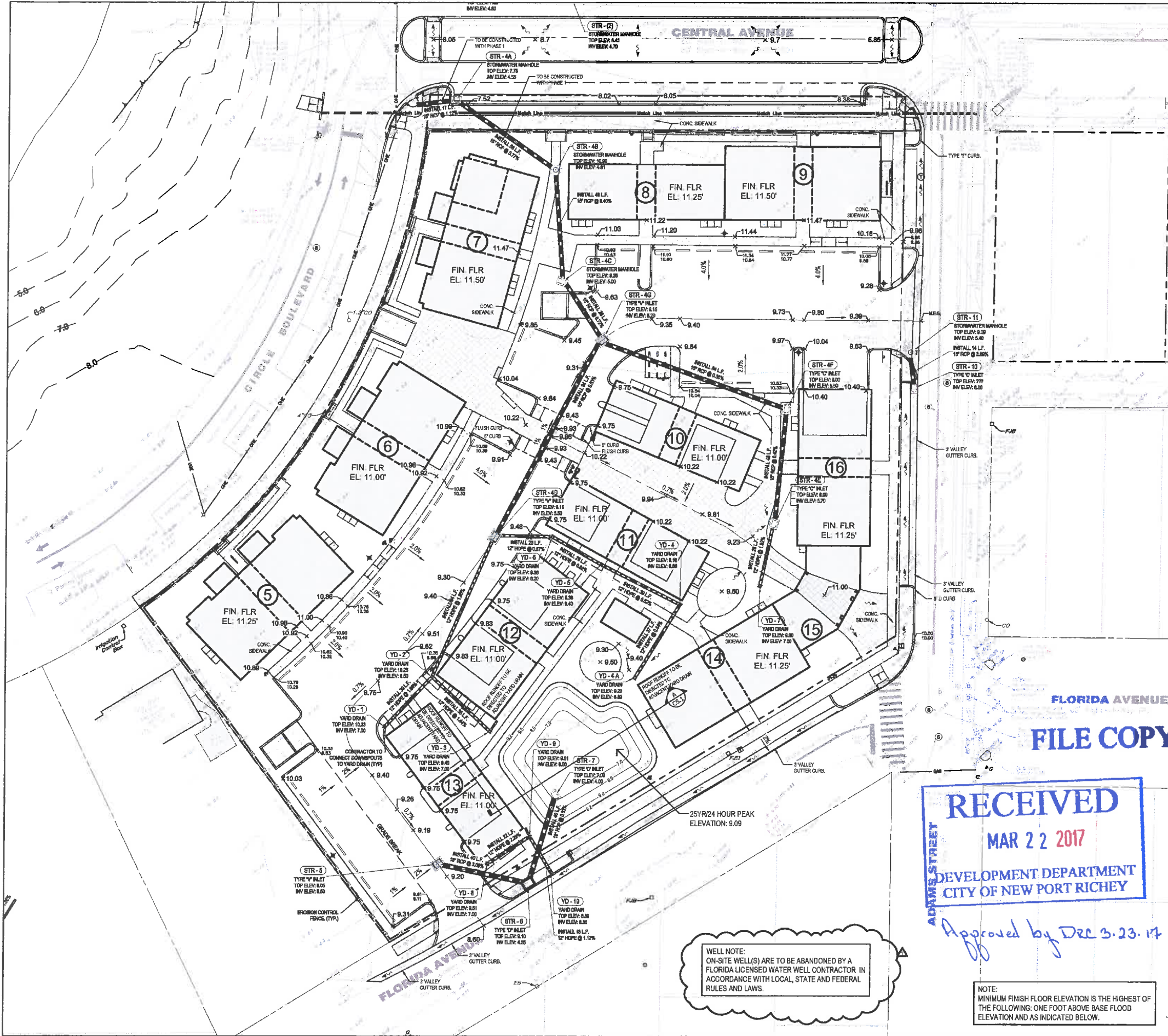
**SHEET**  
**C5.0**  
JOB No: 16021

**RECEIVED**  
**MAR 22 2017**  
**DEVELOPMENT DEPARTMENT**  
**CITY OF NEW PORT RICHEY**

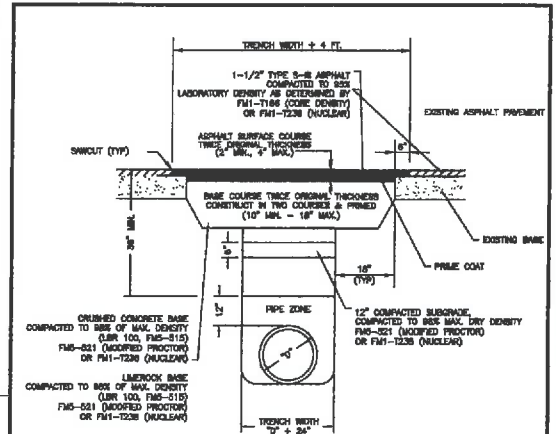
Approved by Dec 3.23.17

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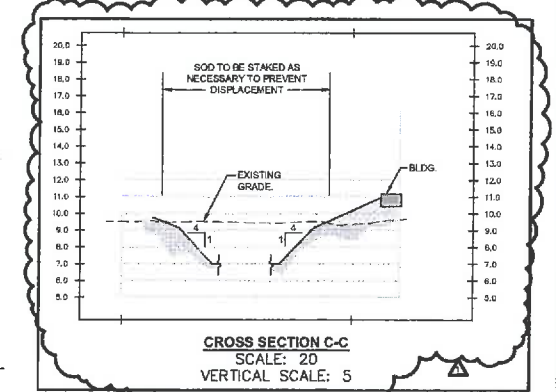


- LEGEND**
- BOUNDARY/RIGHT-OF-WAY
  - BASEMENT LINE
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - WETLAND LIMITS
  - ▨ PROPOSED CONCRETE SIDEWALK
  - ▨ PROPOSED CONCRETE PAVEMENT
  - PROPOSED CONTOUR
  - SURFACE RUN-OFF DIRECTION
  - CHANNELIZED FLOW DIRECTION
  - EXISTING SPOT ELEVATION
  - ASSUMED MASS GRADING SPOT ELEVATION PER INTERLAKEN ROAD DESIGN
  - PROPOSED TOP OF CURB/SIDEWALK ELEVATION
  - PROPOSED E.O.P./GROUND ELEVATION
  - FDOT GRATE INLET
  - FDOT JUNCTION BOX
  - YARD DRAIN (SEE TABLE FOR SIZE)
  - RCP STORMWATER PIPE
  - HDPE STORMWATER PIPE
  - EROSION CONTROL



- GENERAL NOTES:**
- BASE AND BACKFILL MATERIALS SHALL BE EITHER OF THE SAME TYPE AND COMPOSITION AS THE MATERIALS RELIED ON OF EQUAL OR GREATER STRUCTURAL ADEQUACY. MATERIAL CONTAMINATED WITH OIL/OTHER SUBSTANCES DURING CONSTRUCTION SHALL NOT BE USED.
  - THE AREA OF THE TRENCH ABOVE THE PIPE ZONE AND BELOW THE BASE COURSE MUST BE BACKFILLED AND COMPACTED IN LAYERS NOT EXCEEDING 12", EXCEPT THAT THE LAST TWO LIFTS SHALL NOT EXCEED SIX INCHES PER LIFT.
  - BASE MATERIAL SHALL BE PLACED IN TWO COURSES AND EACH TESTED TO MEET SPECIFIED DENSITY.
  - ALL FILL UP TO THE SPRING LINE OF THE PIPE SHALL BE HAND DAMPED.

CREATED 09/21/16	REPAIR AND RESURFACING OF FLEXIBLE PAVEMENT	PREPARED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN APPROVAL.
REVISED	New Port Richey - Public Works	DETAIL 68



**WELL NOTE:**  
ON-SITE WELL(S) ARE TO BE ABANDONED BY A FLORIDA LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL RULES AND LAWS.

**NOTE:**  
MINIMUM FINISH FLOOR ELEVATION IS THE HIGHEST OF THE FOLLOWING: ONE FOOT ABOVE BASE FLOOD ELEVATION AND AS INDICATED BELOW.

**RECEIVED**  
MAR 22 2017  
DEVELOPMENT DEPARTMENT  
CITY OF NEW PORT RICHEY

*Approved by DEC 3.23.17*

**PAVING, GRADING AND DRAINAGE PLAN**  
RESIDENCES AT ORANGE LAKE  
6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FL 34652

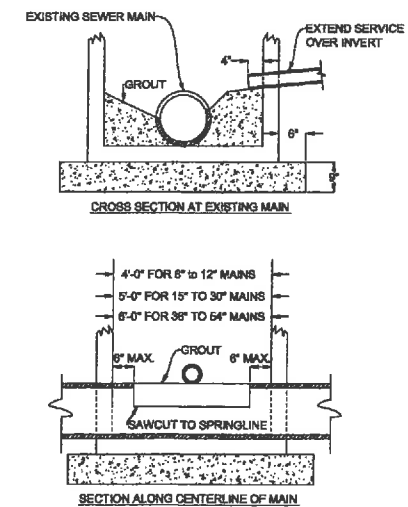
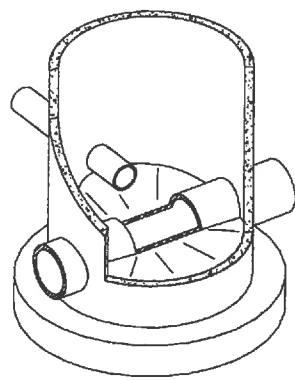
GREGORY B. WIEGNER, P.E.  
P.E. #5876

**COASTAL DESIGN CONSULTANTS**  
PLANNING, ENGINEERING, ARCHITECTURAL ADMINISTRATION  
7022 LITTLE ROAD - NEW PORT RICHEY, FLORIDA 34664  
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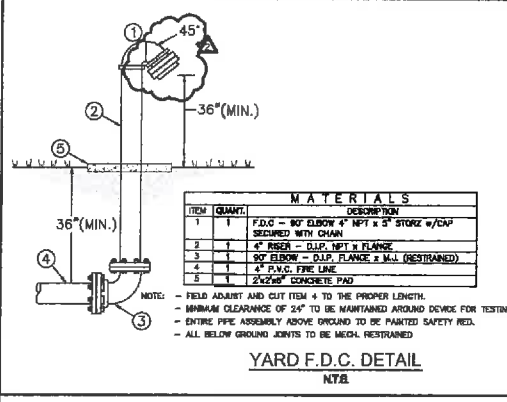
DESIGNED BY: G.S.W.   DRAWN BY: ALG	REVISION	DATE	BY	REVISION
	1	02/22/17	CEW	REVISED TO ADDRESS CITY COMMENTS
	2	03/02/17	GBW	ADDED GARAGE SPOT ELEVATIONS
DATE: 05-17-2016				
<b>SHEET</b>				
<b>C5.1</b>				
JOB NO: 16021				

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**NOTES:**

1. FLOW SHALL BE MAINTAINED DURING CONSTRUCTION.
2. THIS DETAIL TO BE USED WHEN A 6" OR LARGER LATERAL NECESSITATES CONSTRUCTION OF A NEW MANHOLE.
3. MANHOLE PAD TO REST UPON A MINIMUM 6" COMPACTED #67 STONE BASE.



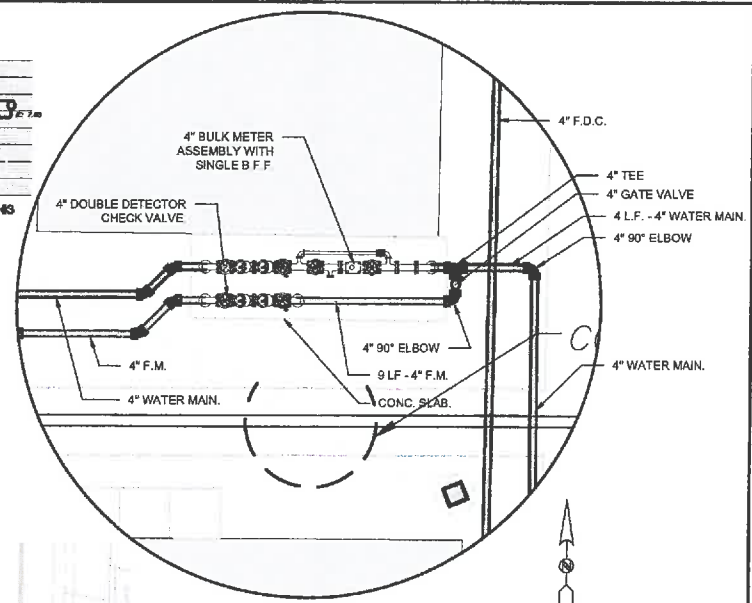
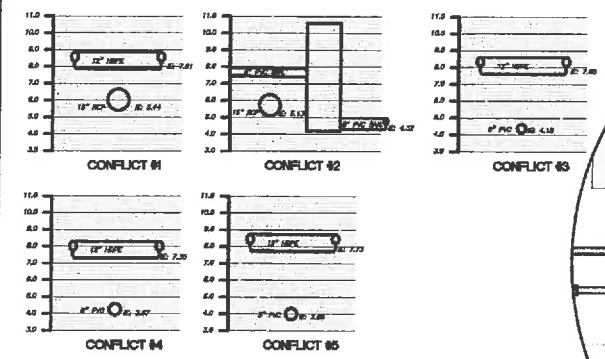
**MATERIALS**

ITEM	QUANTITY	DESCRIPTION
1	1	F.D.C. - 90° ELBOW 4" NPT x 5" STORGE w/ CAP SECURED WITH CHAIN
2	1	4" RISER - CLIP, NPT & FLANGE
3	1	90° ELBOW - CLIP, FLANGE & M.S. (RESTRAINED)
4	1	4" PVC FIRE LINE
5	1	2x2x6" CONCRETE PAD

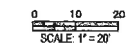
**NOTES:**

- FIELD ADJUST AND CUT ITEM 4 TO THE PROPER LENGTH.
- MINIMUM CLEARANCE OF 24" TO BE MAINTAINED AROUND DEVICE FOR TESTING.
- ENTIRE PIPE ASSEMBLY ABOVE GROUND TO BE MARKED SAFETY RED.
- ALL BELOW GROUND JOINTS TO BE MECA. RESTRAINED.

**YARD F.D.C. DETAIL**  
N.T.S.



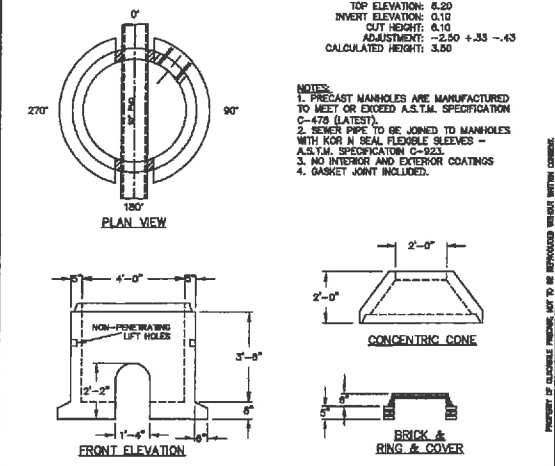
**UTILITY DETAIL 'A'**  
N.T.S.



**TOWN OF APEX STANDARDS**  
EFFECTIVE: DECEMBER 3, 2002

**DOGHOUSE MANHOLE INSTALLATION OVER EXISTING SEWER MAIN**

STD. NO. **700.12**  
SHEET 1 OF 1



TOP ELEVATION: 6.50  
INVERT ELEVATION: 0.10  
OUT HEIGHT: 6.10  
ADJUSTMENT: -2.50 + .33 = -.43  
CALCULATED HEIGHT: 3.50

**NOTES:**

1. PRECAST MANHOLES ARE MANUFACTURED TO MEET OR EXCEED A.S.T.M. SPECIFICATION C-478 (LATEST).
2. RISER PIPE TO BE JOINED TO MANHOLES WITH NON-FLEXIBLE SLEEVES - A.S.T.M. SPECIFICATION C-522.
3. NO INTERIOR AND EXTERIOR COATINGS.
4. GASKET JOINT INCLUDED.

MANHOLE STRUCTURE TYPE "SANITARY SEWER MANHOLE" 45M5

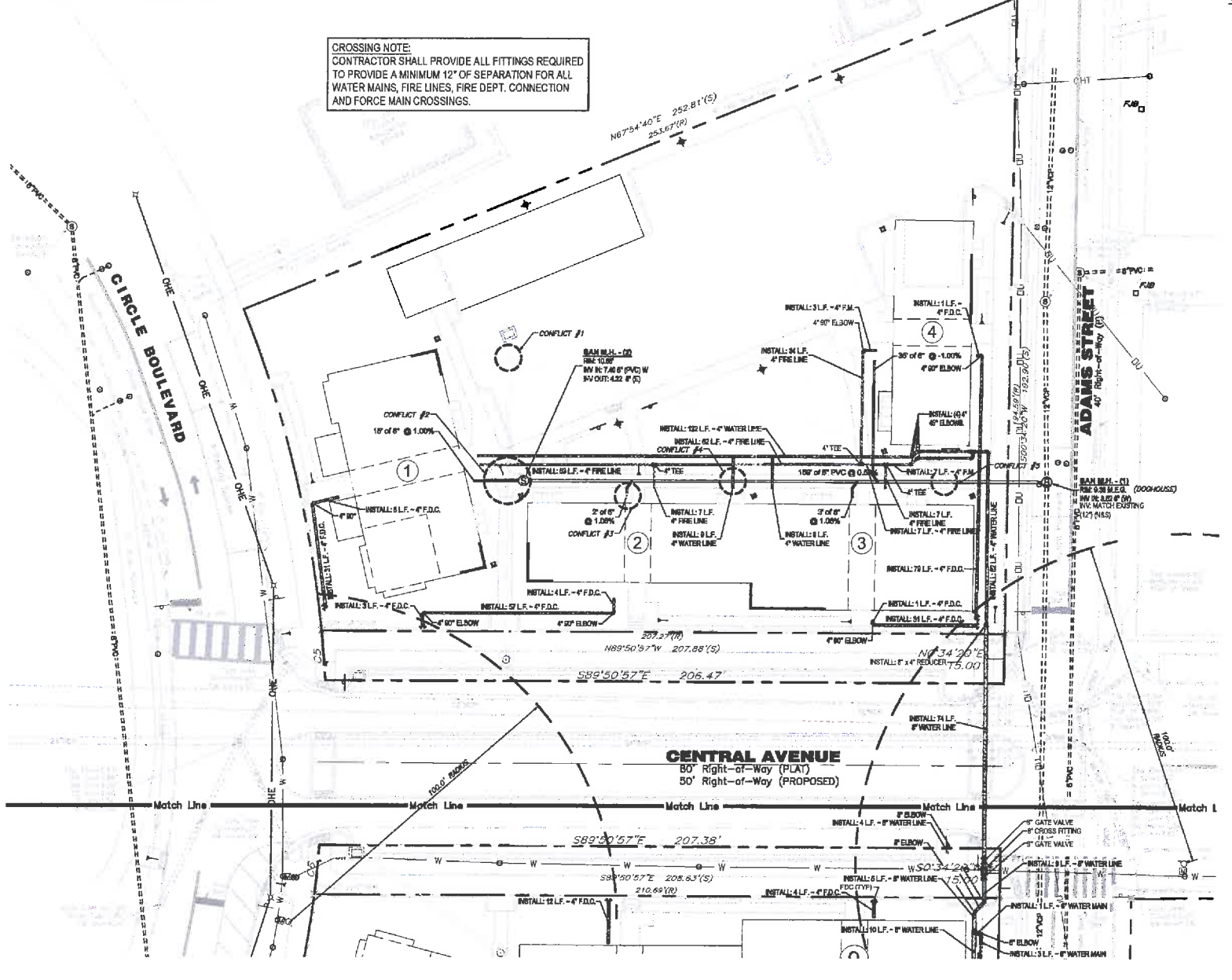
DEPTH	PIPE SIZE	PIPE INVERT	BOOT	HOLE UP	PRODUCTION YARDAGE	WEIGHTS	REINFORCEMENT
0	10" CLAY	0.10	DOO HOUSE	0'-2"	BASE: 0.90 CYDS	2563	#4 @ 12 O.C.W 2" CLR
40	10" PVC	0.10	18" DOO HOUSE	0'-2"	WALL: 0.85 CYDS	2833	3#8 W3/W2 CNT
180	10" CLAY	0.10	DOO HOUSE	0'-2"	CONC: 1.300	1300	3#8 W3/W2 CNT
					TOTAL:	6,496	

REMARKS: CASTING: USF 170 E ORS  
STEEL WT.: CONC WT.: 4000 PSI CONC. TYPE II CEMENT

**Oldcastle Precast, Inc.**  
2140 PONDWELL ROAD, CAPE CORAL, FLORIDA 33909-8194  
(888) 674-0888 FAX: (888) 674-3419

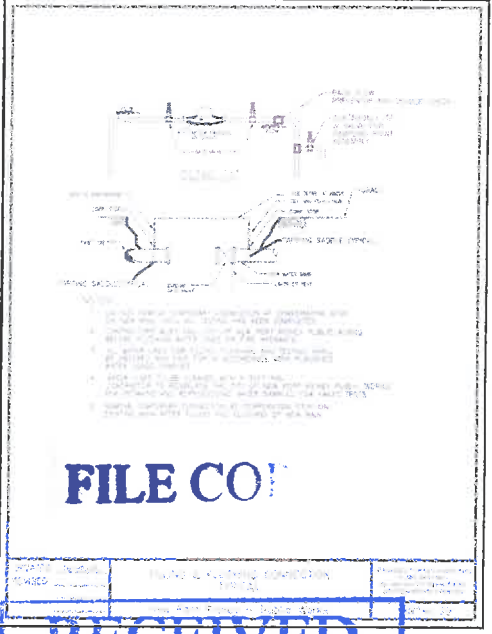
**DALLAS**  
2011 SEWER IMPROVEMENTS

- CITY OF NEW PORT RICHEY NOTES**
1. CONTRACTOR IS REQUIRED TO CALL (811) FOR UTILITY LOCATES 48 HOURS BEFORE CONSTRUCTION TO ALLOW THE AREA TO BE FLAGGED AND MARKED.
  2. CONTRACTOR IS REQUIRED TO NOTIFY THE PUBLIC WORKS DEPARTMENT 48 HOURS IN ADVANCE BEFORE TAPPING THE WATER MAIN FOR THE NEW FIRE LINE. CITY PERSONNEL MUST BE PRESENT DURING THE WATER MAIN TAP.
  3. CONTRACTOR SHALL HAVE ALL MAINTENANCE OF TRAFFIC AND EROSION CONTROL IN PLACE BEFORE STARTING CONSTRUCTION.
  4. ALL NEW BACKFLOW PREVENTION ASSEMBLIES WILL NEED TO BE TESTED AND INSPECTED UPON INSTALLATION, ALL TESTING DOCUMENTATION TO BE PROVIDED TO PUBLIC WORKS.
  5. CONNECTION TO THE WATER MAIN LINE WILL BE SCHEDULED AND ALLOWED AFTER PROPER DOCUMENTATION OF PRESSURE TESTS AND BACTERIOLOGICAL HAVE BEEN PROVIDED TO PUBLIC WORKS.
  6. CITY VALVES AND UTILITIES TO BE WORKED/ EXERCISED BY PUBLIC WORKS EMPLOYEES ONLY.
  7. ALL PIPE WORK AND FITTINGS TO EASEMENT / ROW UP TO AND INCLUDING THE DCCV SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY'S DESIGN STANDARDS AND DETAILS LATEST EDITION.
  8. THE CITY SHALL OWN AND MAINTAIN ALL PIPES AND FITTING IN EASEMENT/ ROW UP TO THE DCCV.
  9. THE OWNER SHALL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF ALL PIPES AND FITTINGS DOWNSTREAM OF AND INCLUDING DCCV.



**LEGEND**

- BOUNDARY/TREESHOT-WAY
- CONCRETE PAVEMENT
- EXISTING DRAINAGE INLET STRUCTURE
- EXISTING POTABLE WATER LINE
- EXISTING SANITARY SEWER PIPE
- EXISTING SANITARY SEWER STRUCTURE
- PROPOSED 2" POTABLE WATER LINE
- PROPOSED 4" FIRE DEPT. CONNECTION
- PROPOSED 4" PVC FIRE MAIN
- PROPOSED 6" PVC FIRE MAIN
- PROPOSED GATE VALVE
- PROPOSED FOC
- PROPOSED FIRE HYDRANT ASSEMBLY



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CITY OF NEW PORT RICHEY

**UTILITY PLAN**

RESIDENCES AT ORANGE LAKE  
6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FL 34652

GREGORY B. WEGENER, P.E.  
P.E. # 54876

**COASTAL DESIGN CONSULTANTS**

PLANNING • ENGINEERING • CONSTRUCTION ADMINISTRATION  
7026 LITTLE ROAD • NEW PORT RICHEY, FLORIDA 34654  
727-846-0400 • FAX 727-846-0222

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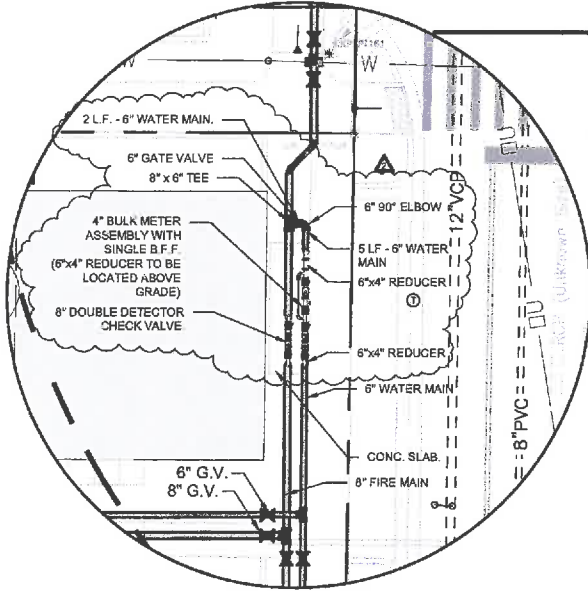
Designed By: G.B.W. | Drawn By: A.L.G.

DATE	REV. BY	REV. NO.	REVISION
02/29/17	GW	1	REVISED TO ADDRESS CITY COMMENTS
02/29/17	GW	2	REVISED TO ADDRESS CITY COMMENTS

DATE: 05-17-2016

**SHEET**  
**C6.0**  
JOB No. 16021

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**UTILITY DETAIL 'B'**  
N.T.S.

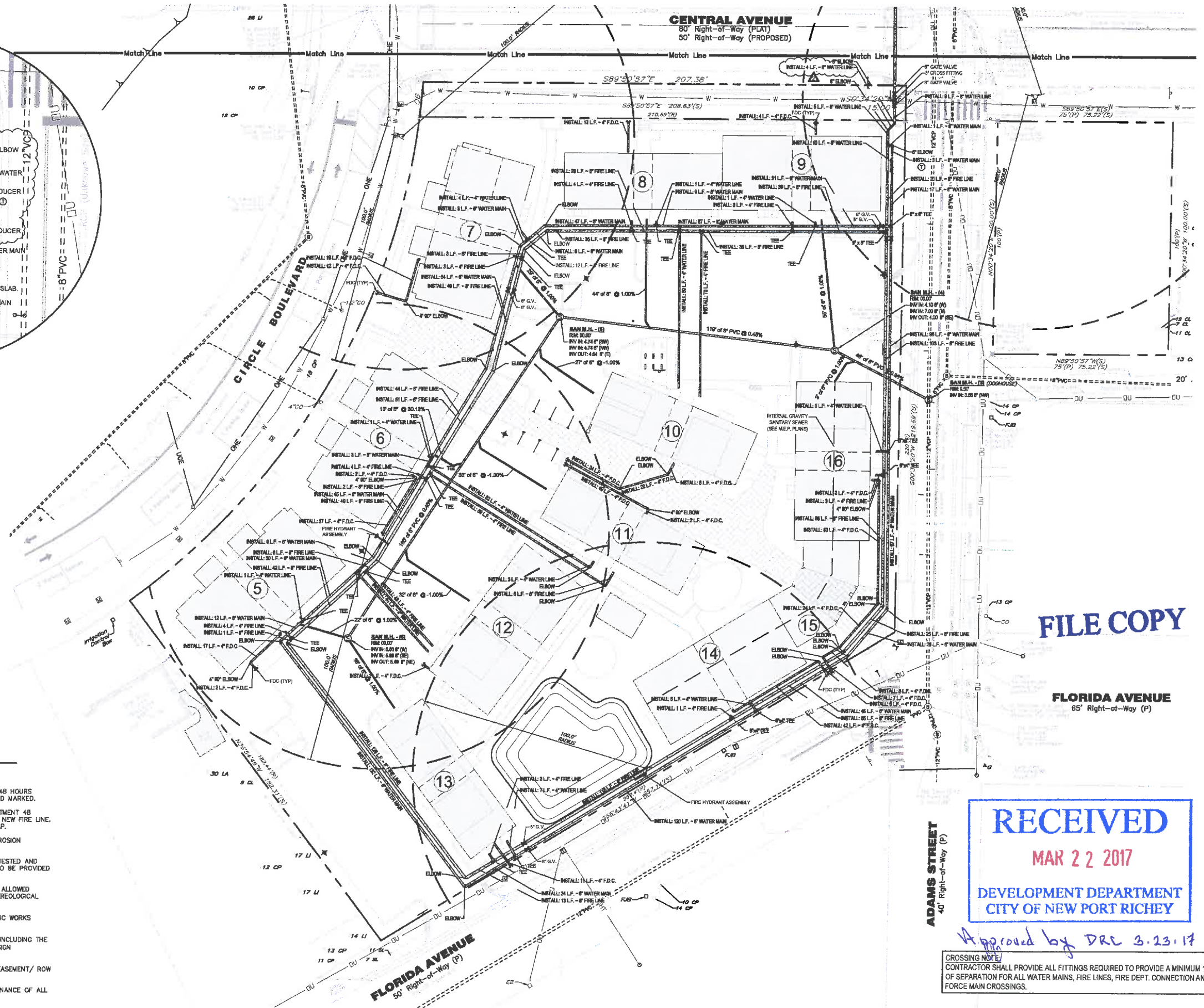


**LEGEND**

- BOUNDARY RIGHT-OF-WAY
- CONCRETE WALKWAY
- EXISTING DRAINAGE INLET STRUCTURE
- EXISTING POTABLE WATER LINE
- EXISTING SANITARY SEWER PIPE
- EXISTING SANITARY SEWER STRUCTURE
- PROPOSED 2\"/>
- PROPOSED 4\"/>
- PROPOSED 6\"/>
- PROPOSED 8\"/>
- PROPOSED GATE VALVE
- PROPOSED FDC
- PROPOSED FIRE HYDRANT ASSEMBLY

**CITY OF NEW PORT RICHEY NOTES**

1. CONTRACTOR IS REQUIRED TO CALL (811) FOR UTILITY LOCATES 48 HOURS BEFORE CONSTRUCTION TO ALLOW THE AREA TO BE FLAGGED AND MARKED.
2. CONTRACTOR IS REQUIRED TO NOTIFY THE PUBLIC WORKS DEPARTMENT 48 HOURS IN ADVANCE BEFORE TAPPING THE WATER MAIN FOR THE NEW FIRE LINE. CITY PERSONNEL MUST BE PRESENT DURING THE WATER MAIN TAP.
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5. CONNECTION TO THE WATER MAIN LINE WILL BE SCHEDULED AND ALLOWED AFTER PROPER DOCUMENTATION OF PRESSURE TESTS AND BACTERIOLOGICAL HAVE BEEN PROVIDED TO PUBLIC WORKS.
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7. ALL PIPE WORK AND FITTINGS TO EASEMENT / ROW UP TO AND INCLUDING THE DDCV SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY'S DESIGN STANDARDS AND DETAILS LATEST EDITION.
8. THE CITY SHALL OWN AND MAINTAIN ALL PIPES AND FITTING IN EASEMENT/ ROW UP TO THE DDCV.
9. THE OWNER SHALL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF ALL PIPES AND FITTINGS DOWNSTREAM OF AND INCLUDING DDCV.



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**FLORIDA AVENUE**  
85' Right-of-Way (P)

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**DEVELOPMENT DEPARTMENT**  
**CITY OF NEW PORT RICHEY**

*Approved by DRC 3.23.17*

CROSSING NOTE:  
CONTRACTOR SHALL PROVIDE ALL FITTINGS REQUIRED TO PROVIDE A MINIMUM 12\"/>

**UTILITY PLAN**

**RESIDENCES AT ORANGE LAKE**  
**6571 CIRCLE BOULEVARD**  
**NEW PORT RICHEY FL 34652**

GREGORY B. WEGENER, P.E.  
P.E. # 5816

**COASTAL**  
DESIGN CONSULTANTS

PLANNING • ENGINEERING • CONSTRUCTION ADMINISTRATION  
7088 LITTLE ROAD • NEW PORT RICHEY, FLORIDA 34654  
727-849-6010 • FAX 727-849-8020  
CO.# 00000022

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DATE:	03/15/17	BY:	GBW	REVISION:	2
DATE:	05-17-2016	BY:		REVISION:	

**SHEET**

**C6.1**

JOB NO: **16021**

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**SITE DETAILS**  
**RESIDENCES AT ORANGE LAKE**  
**6571 CIRCLE BOULEVARD**  
**NEW PORT RICHEY FL 34652**

GREGORY B. WICKNER, P.E.  
 P.E. # 54878

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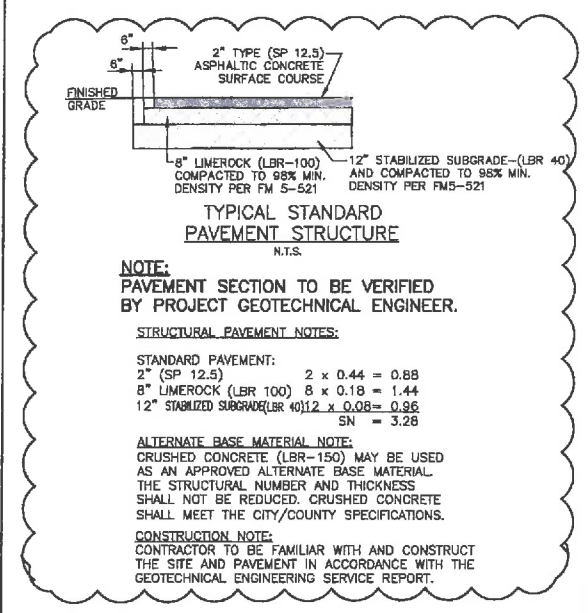
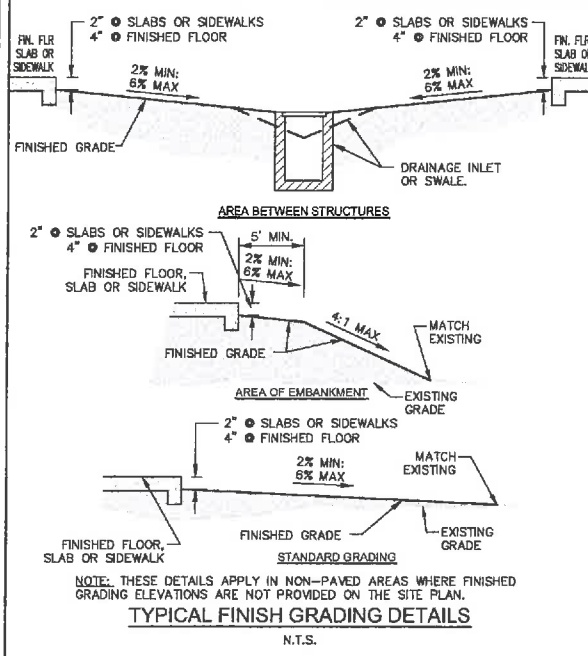
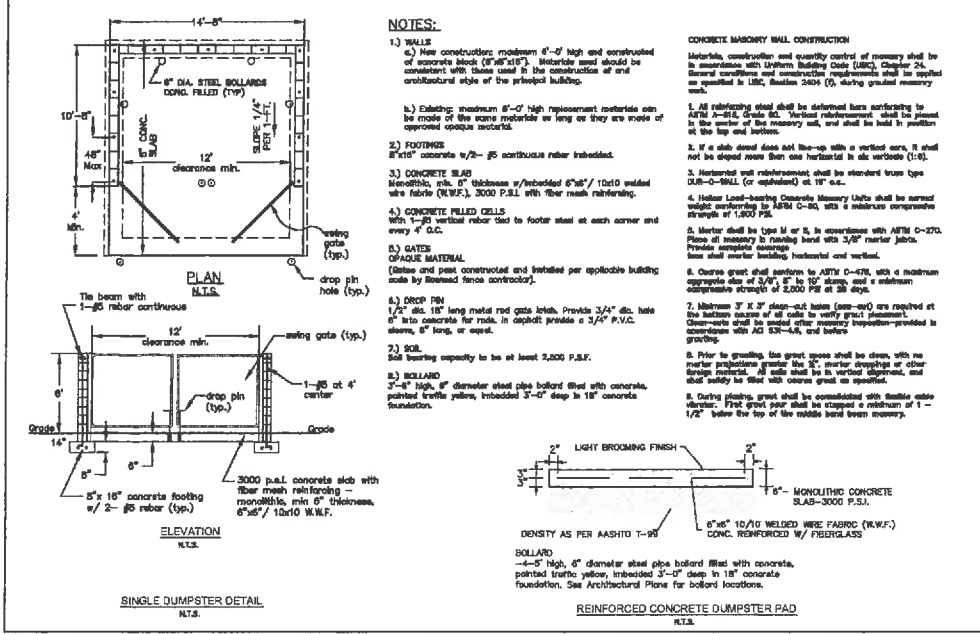
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DATE	02/22/2017	BY	GW
REVISION		REVISED TO ADDRESS CITY COMMENTS	

Download By: G.B.W. | Drawn By: ALG

DATE: 05-17-2016

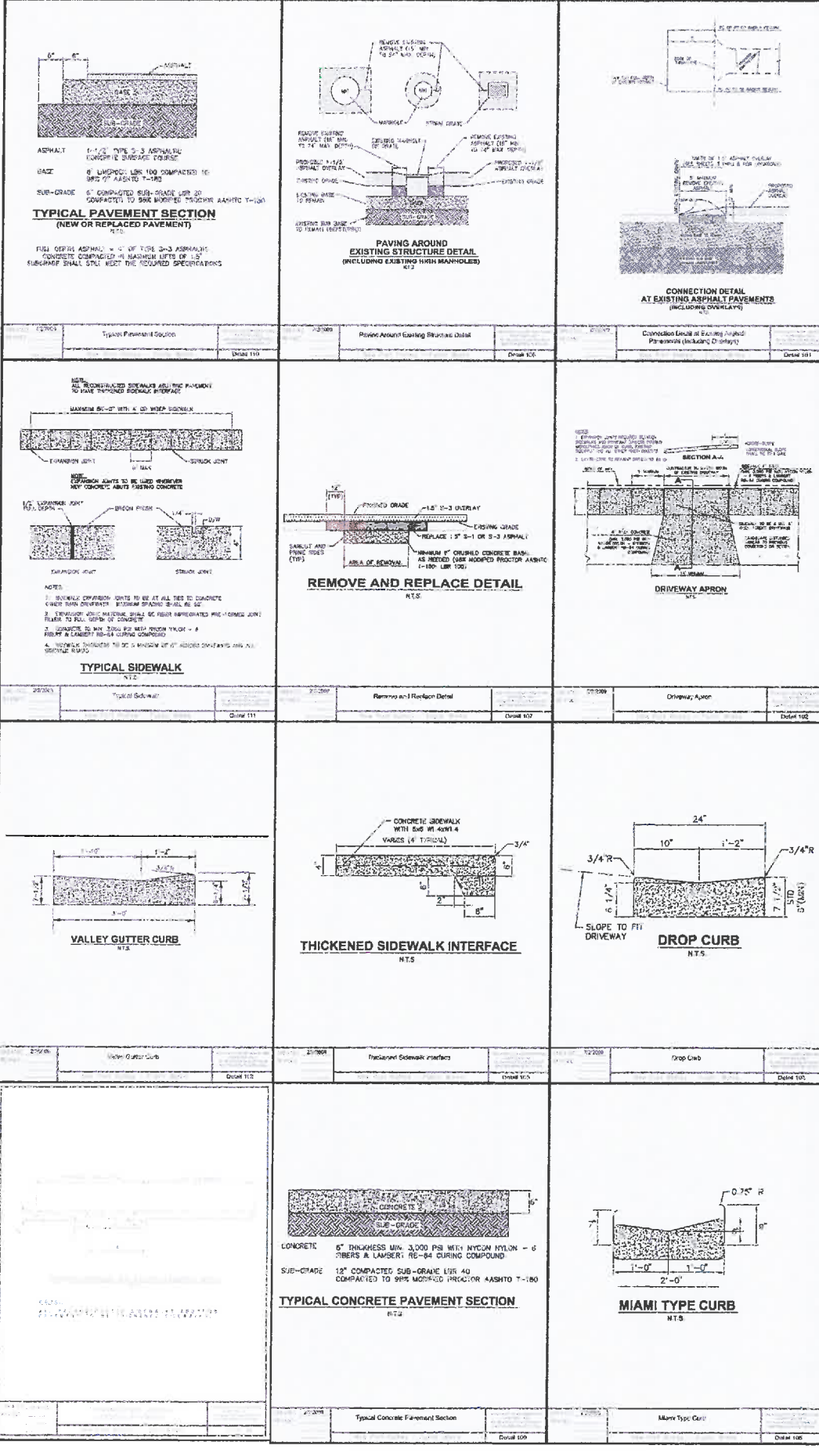
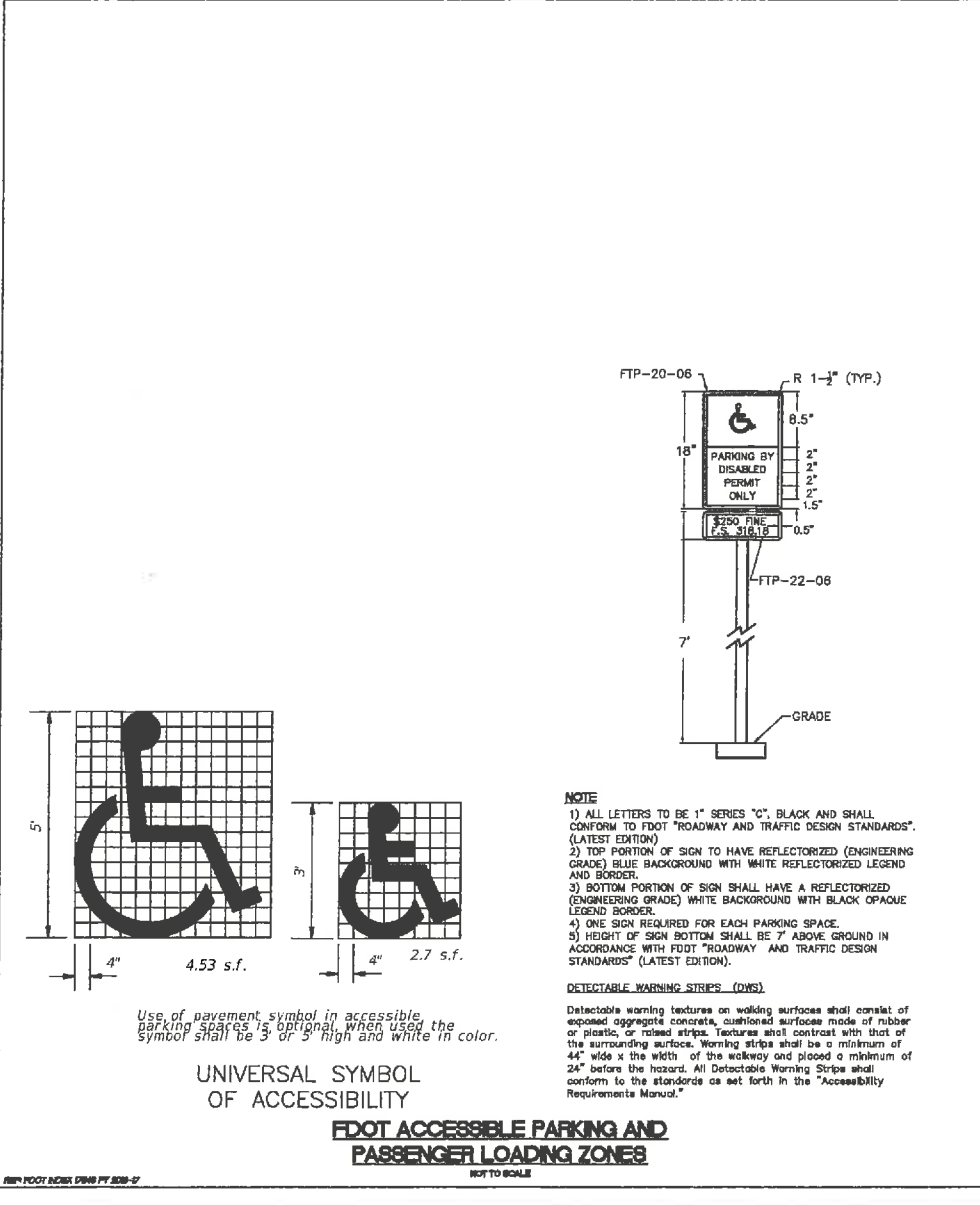
**SHEET**  
**C7.0**  
 JOB No. 16021



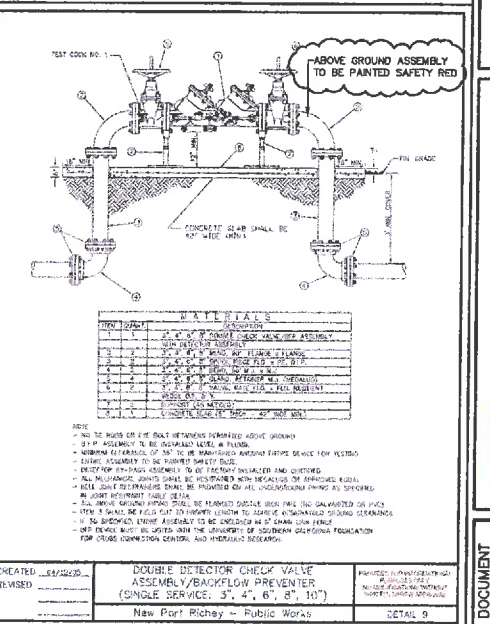
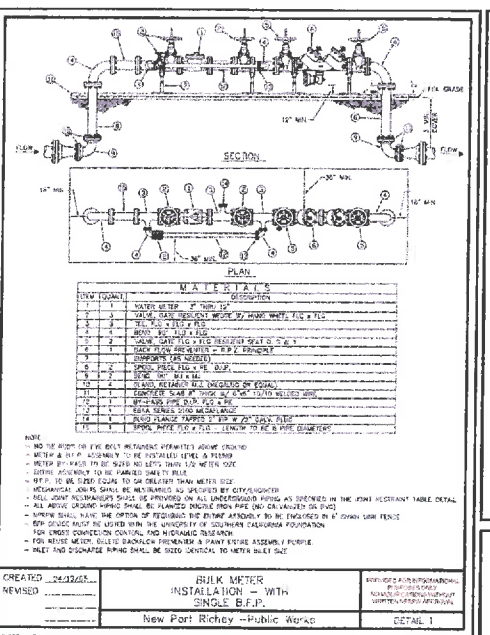
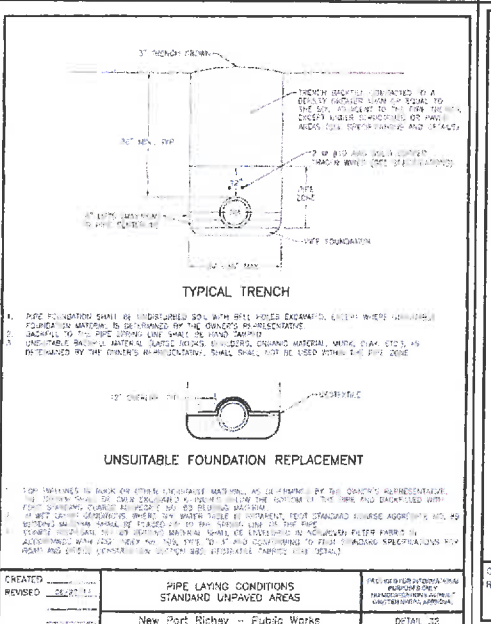
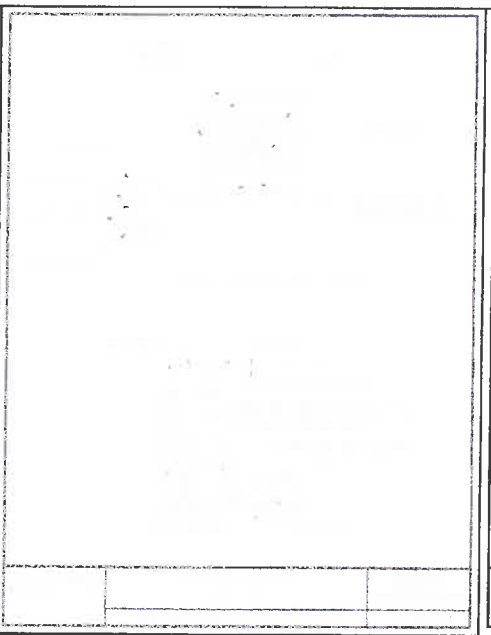
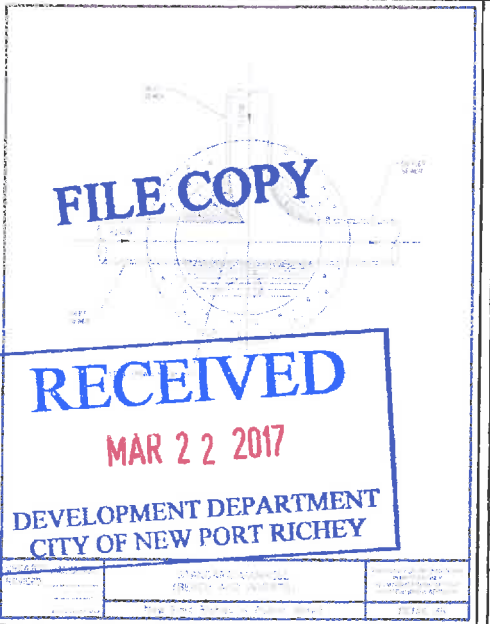
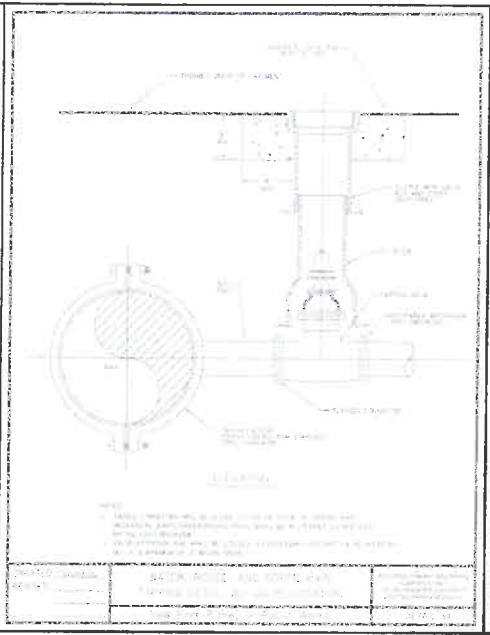
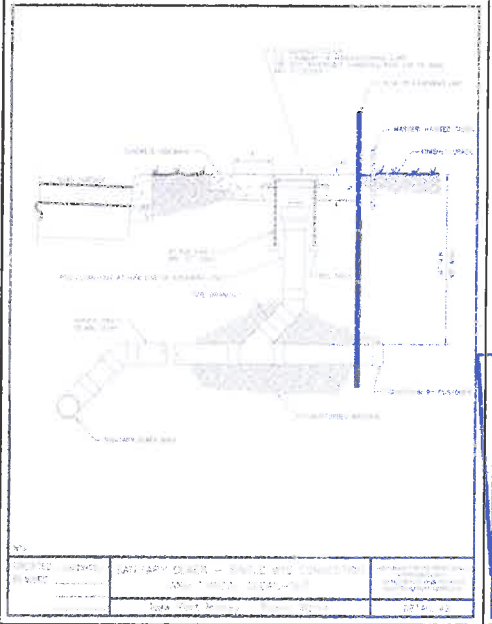
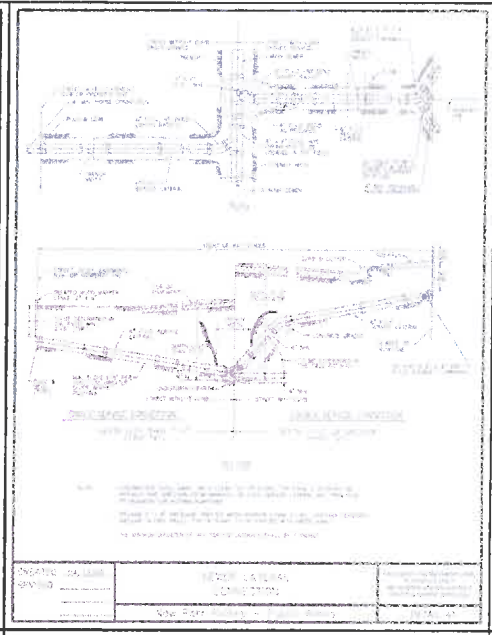
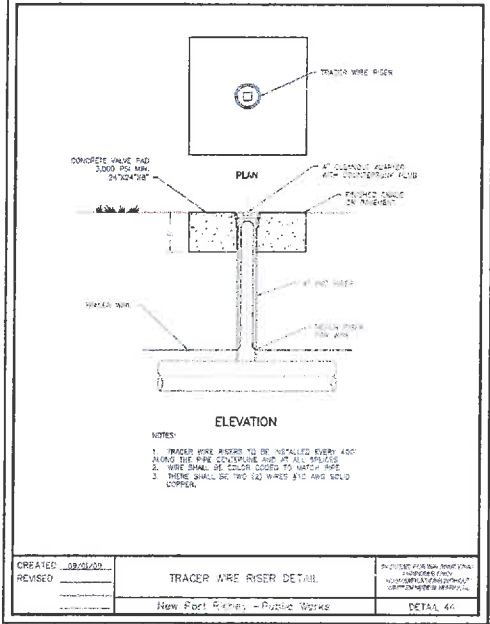
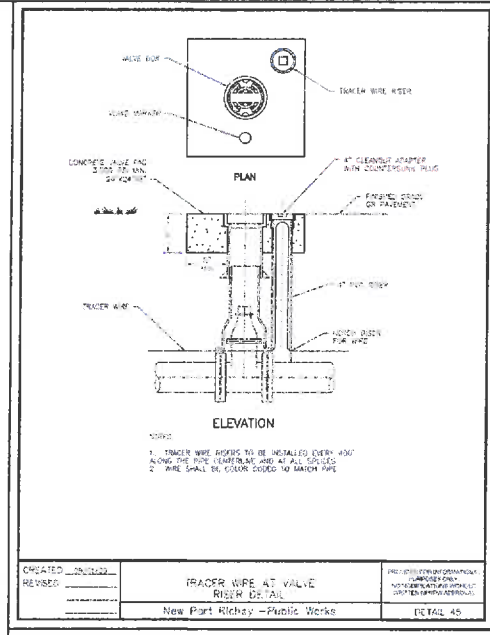
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 CITY OF NEW PORT RICHEY

Approved by DRE 3.23.17



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 Date: 02/22/2017 10:11:15 AM  
 User: gregory.wickner



**PIPE RESTRAINT LENGTHS IN FEET COMMON FITTINGS**

WATER MAINS - TEST PRESSURE 150 PSI

PIPE SIZE	FITTING TYPE				
	11-1/4"	22-1/2"	45"	90"	DEAD END
4"	2'	4'	8'	20'	45'
6"	3'	6'	12'	28'	63'
8"	4'	7'	15'	36'	82'
10"	4'	9'	18'	43'	98'
12"	5'	10'	21'	50'	116'
16"	6'	13'	26'	63'	148'
20"	7'	15'	31'	78'	179'
24"	9'	17'	36'	87'	208'

FORCE MAINS - TEST PRESSURE 100 PSI

PIPE SIZE	FITTING TYPE				
	11-1/4"	22-1/2"	45"	90"	DEAD END
4"	1'	3'	6'	13'	30'
6"	2'	4'	8'	19'	42'
8"	2'	5'	10'	24'	55'
10"	3'	6'	12'	29'	66'
12"	3'	7'	14'	34'	77'
16"	4'	8'	18'	42'	99'
20"	5'	10'	21'	50'	119'
24"	6'	11'	24'	58'	139'

RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE FITTING ALONG THE PIPE IN BOTH DIRECTIONS (EXCEPT DEAD ENDS).

**PIPE RESTRAINT LENGTHS IN FEET TEES (BRANCH SIDE)**

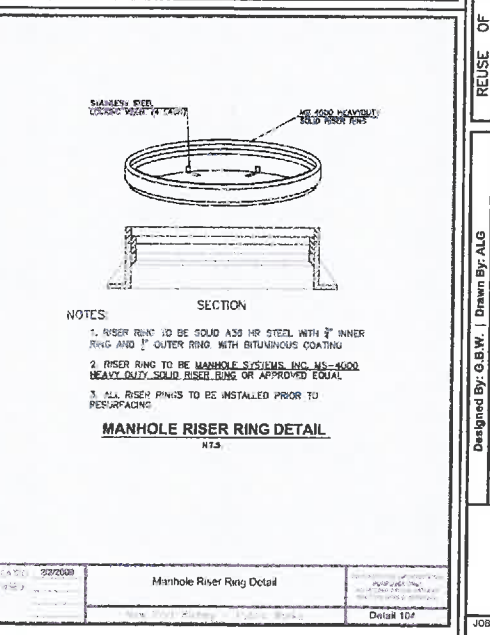
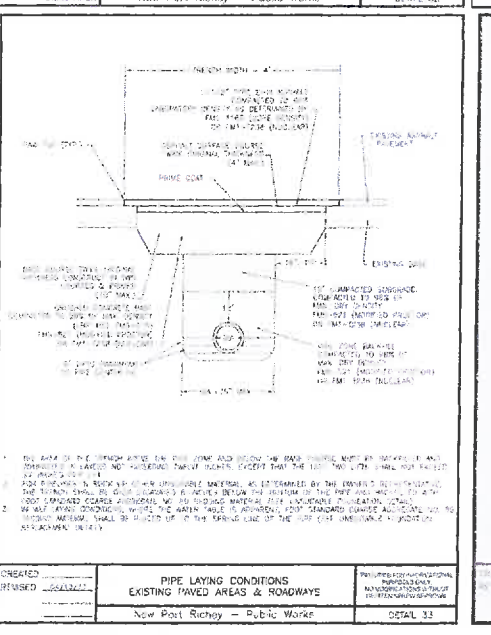
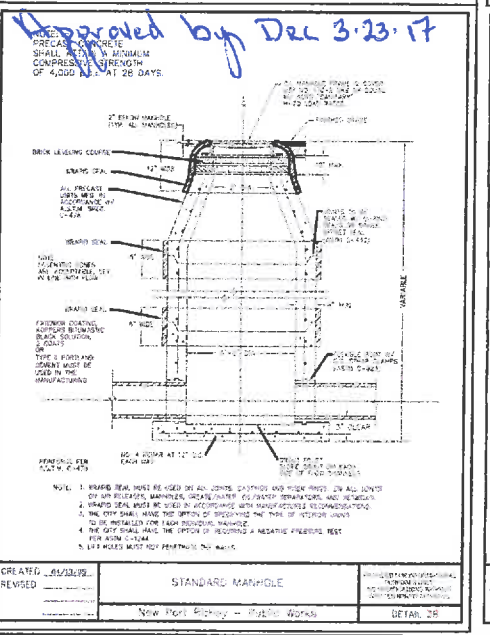
WATER MAINS - TEST PRESSURE 150 PSI

RUN SIZE	BRANCH SIZE										
	3"	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"
3"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
4"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
6"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
8"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
10"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
12"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
16"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
20"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
24"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'

RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE TEE ALONG THE BRANCH FOR THE DISTANCE INDICATED. A MINIMUM OF 5 FEET OF RESTRAINED PIPE MUST BE INSTALLED ON BOTH RUNS OF THE TEE. NEGLIGIBLE TYPE RESTRAINTS ARE REQUIRED ON ALL JOINTS.

**RESTRAINED JOINT TABLE TEES (BRANCH SIDE)**

Run Size	Branch Size	Restraint Length
3"	3"	1'
4"	4"	1'
6"	6"	1'
8"	8"	1'
10"	10"	1'
12"	12"	1'
16"	16"	1'
20"	20"	1'
24"	24"	1'



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**DEVELOPMENT DEPARTMENT**

**CITY OF NEW PORT RICHEY**

Approved by Dec 3-23-17

**UTILITY DETAILS**

**RESIDENCES AT ORANGE LAKE**  
**6571 CIRCLE BOULEVARD**  
**NEW PORT RICHEY FL 34652**

GREGORY B. WEGENER, P.E.  
 P.E. #58676

**COASTAL DESIGN CONSULTANTS**  
 PLANNING • ENGINEERING • CONSTRUCTION ADMINISTRATION  
 7028 LITTLE ROAD • NEW PORT RICHEY, FLORIDA 34654  
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Designed By: G.B.W. | Drawn By: ALG

DATE	REV. BY	REV. NO.	REVISION
02/27/17	GBW	1	REVISED TO ADDRESS CITY COMMENTS

DATE: 05-17-2016

**SHEET**

**C8.0**

JOB No: 16021



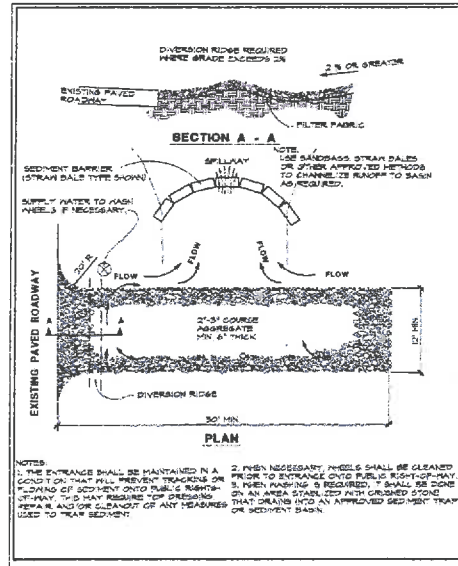


Figure 4.3a. Temporary Gravel Construction Entrance  
Source: Florida Dept. of Transportation

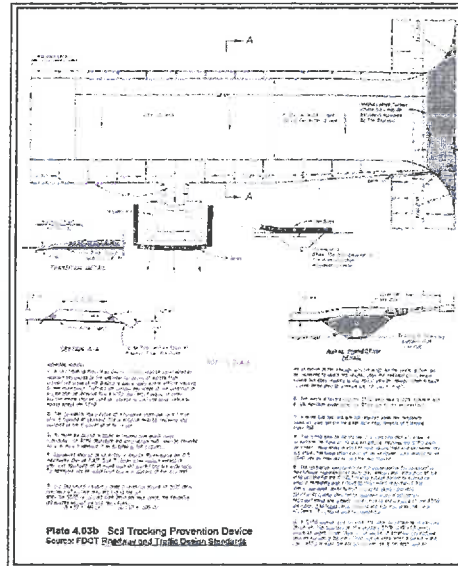


Figure 4.3b. Soil Tracking Prevention Device  
Source: Florida Dept. of Transportation

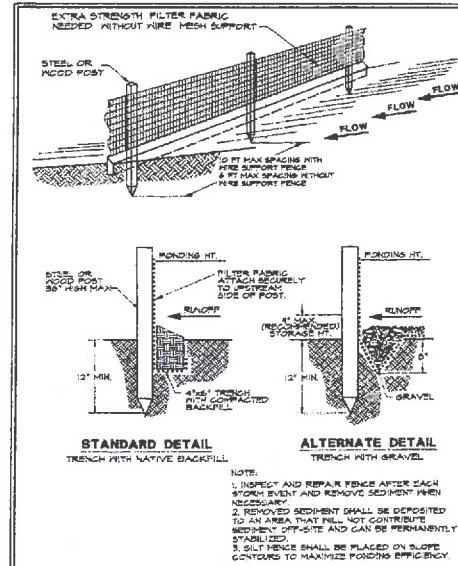


Figure 4.4a. Silt Fence  
Source: Florida Dept. of Transportation

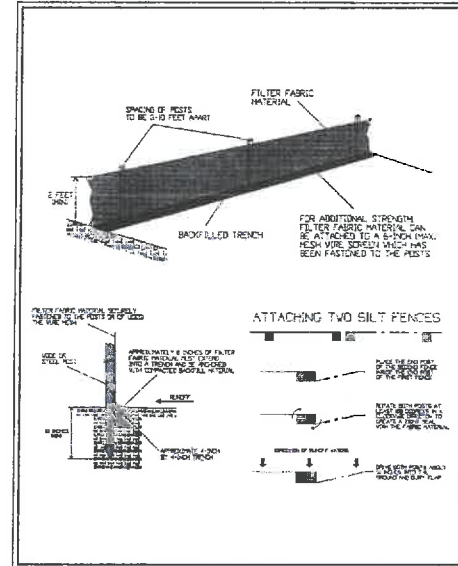


Figure 4.4b. Installing a Filter Fabric Silt Fence  
Source: Florida Dept. of Transportation

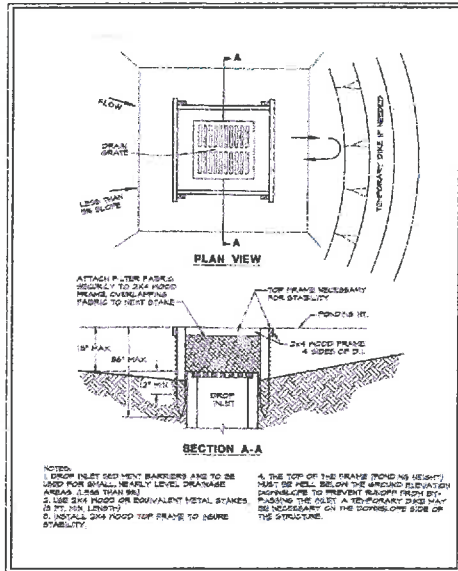


Figure 4.5a. Silt Fence Drop Inlet Sediment Barrier  
Source: Florida Dept. of Transportation

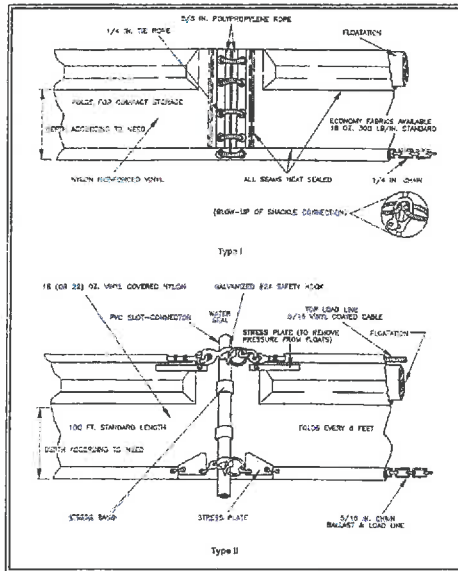


Figure 4.4i. Type I and II Floating Turbidity Barriers  
Source: Florida Dept. of Transportation

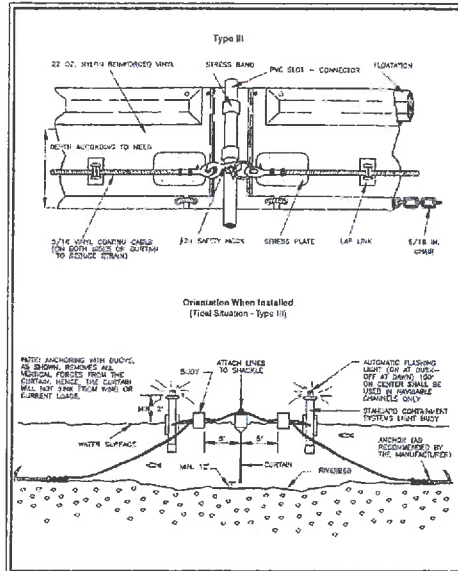


Figure 4.4m. Type III Floating Turbidity Barrier  
Source: Florida Dept. of Transportation

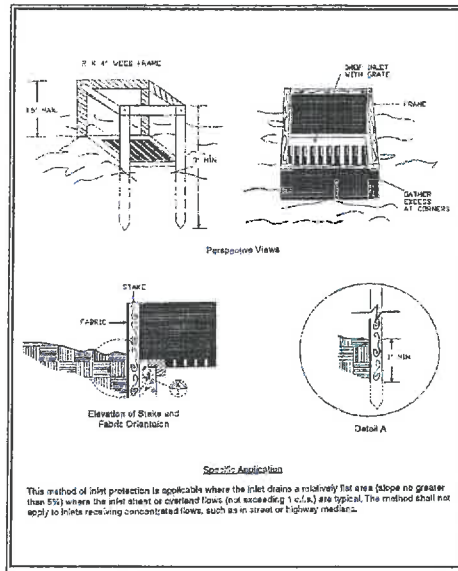


Figure 4.5b. Filter Fabric Drop Inlet Sediment Filter  
Source: Florida Dept. of Transportation

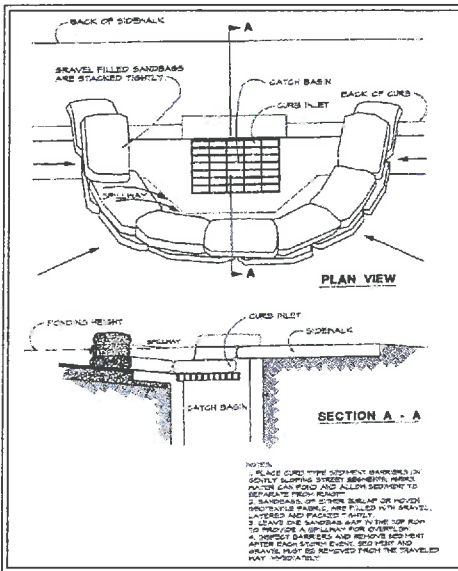


Figure 4.5k. Curb Inlet Sediment Barrier  
Source: Florida Dept. of Transportation

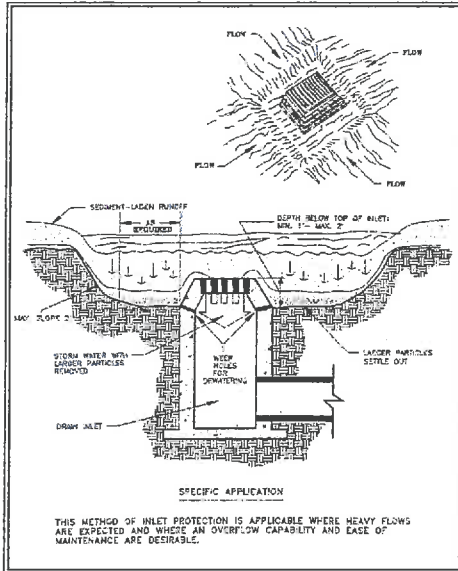


Figure 4.6e. Excavated Drop Inlet Sediment Trap  
Source: Florida Dept. of Transportation

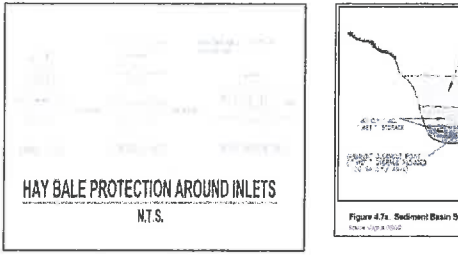


Figure 4.3c. Construction Entrance with Wash Rack  
Source: Florida Dept. of Transportation

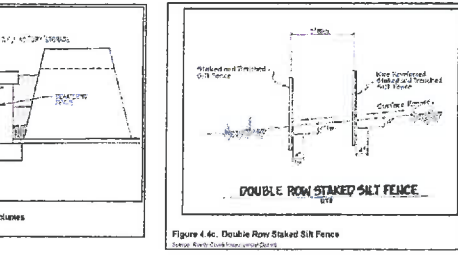


Figure 4.4c. Sediment Basin Storage Volume  
Source: Florida Dept. of Transportation

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM DETAILS

RESIDENCES AT ORANGE LAKE  
SECTION 05 TOWNSHIP 26 S RANGE 16 E

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM DETAILS  
RESIDENCES AT ORANGE LAKE  
6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FL 34652

COASTAL DESIGN CONSULTANTS  
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7026 LITTLE ROAD • NEW PORT RICHEY, FLORIDA 34884  
727-848-8010 • FAX 727-848-8020  
WWW.COASTALDESIGNCONSULTANTS.COM

PREPARED FOR:  
PEOPLE PLACES, LLC  
3104 ALACHUA PLACE  
NEW PORT RICHEY,  
FL, 34655

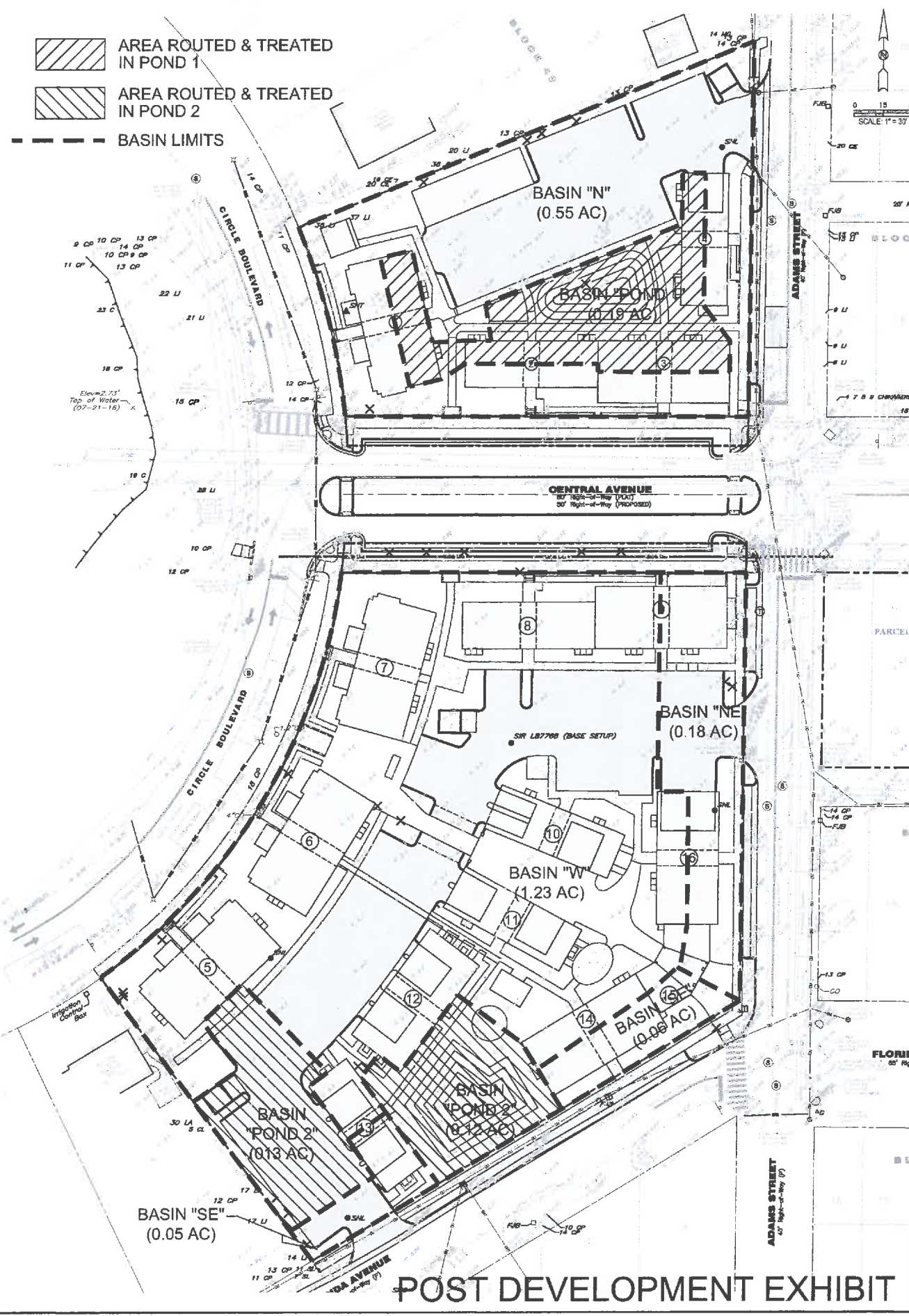
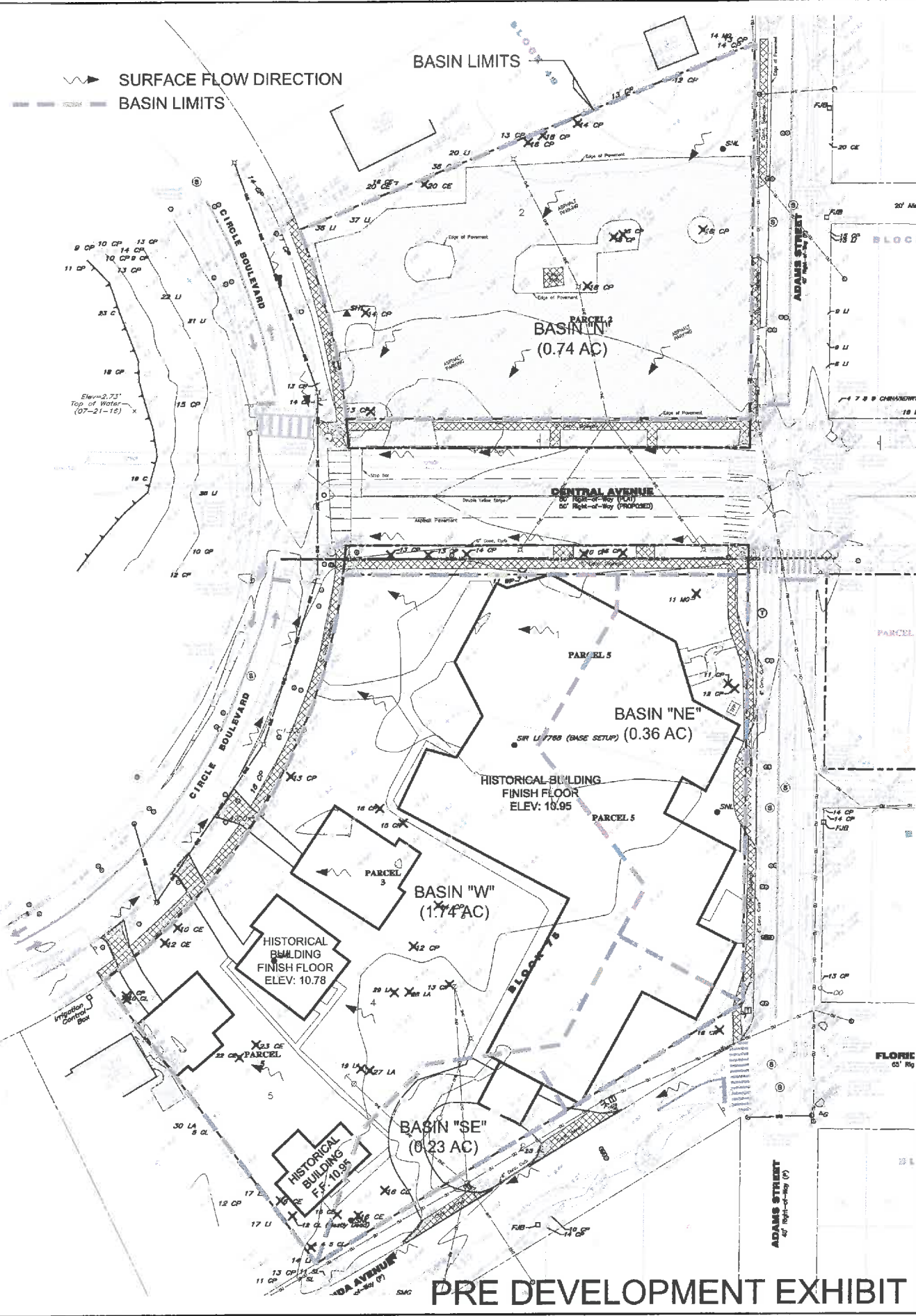
APPROVED BY:  
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DATE	
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DRN.	
CKD.	
SCALE	
JOB NO.	

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SHEET 2 OF 2  
D2  
DATE: 05-17-2016  
JOB NO.: 16021

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CITY OF NEW PORT RICHEY



**PRE & POST DEVELOPMENT PLAN**  
 RESIDENCES AT ORANGE LAKE  
 6571 CIRCLE BOULEVARD  
 NEW PORT RICHEY FL 34652

GREGORY B. WEGENER, P.E.  
 P.E. #54878



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DESIGNED BY: G.B.W.	DRAWN BY: ALG
DATE: 02/20/17	REVISION: 1
REV. NO. 1	REVISION TO ADDRESS CITY COMMENTS
DATE: 05-17-2016	
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DEVELOPMENT DEPARTMENT CITY OF NEW PORT RICHEY	
SHEET D3	
JOB NO.:	16021

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**Approved by DRC 3.13.17**

S:\CD\Projects\16021 Residences at Orange Lake\Drawings\Construction\16021\_D3\_PRE-POST PLAN.dwg, 3/15/2017 10:40:05 AM DWG To PDF.pc3



**Plant List**

**Trees**  
 23 x AR: Acer rubrum (Florida Maple)- 45 gal  
 18 x TD: Taxodium distichum (Bald Cypress)- 45 gal  
 1 x BN: Betula nigra (River Birch)- 45 gal  
 8 x QV: Quercus virginiana (Live Oak)- 45 gal  
 1 x QG: Quercus geminata (Scrub Oak)- 45 gal  
 19 x PP: Pinus palustris (Longleaf Pine)- 15 gal

**Palms**  
 29 x SP: Sabal palmetto (Cabbage Palm)- Grade #1; 15' tall; field grown

**Shrubs**  
 PA: Plumbago auriculata (Plumbago)- 2 gal  
 8 x VO: Viburnum obovatum (Walters Viburnum)- 30 gal  
 4 x MF: Myrcianthes fragrans (Simpson's Stopper)- 30 gal  
 FS: Forestiera segregate (Florida Privet)- 10 gal  
 1 x IV: Ilex vomitoria (Yaupon Holly)- 30 gal  
 Ph B: Philodendron bipinnatifidum 'Hope' (Philadendron)- 5 gal  
 Ph S: Philadendron selloum (Philadendron Selloum)- 5 gal  
 LF: Leucophyllum frutescens (Silverleaf Texas Sage)- 2 gal  
 8 x LC: Loropetalum chinensis 'Plum' (Ruby Loropetalum)- 3 gal  
 1 x LI: Lagerstroemia indica (Crepe Myrtle)

**Grasses**  
 AS: Aristida stricta (Wiregrass)- 3 gal  
 PS: Pennisetum Setaceum (White Fountain Grass)- 3 gal  
 MC: Muhlenbergia capillaris (Pink Muhly Grass)- 3 gal  
 TF: Tripsacum floridana (Fakahatchee grass)- 3 gal  
 Tr d: Tripsacum dactyloides (Dwarf Fakahatchee grass)- 3 gal

**Groundcover**  
 AG: Arachis glabrata (Perennial peanut)- 2.5 qt  
 TA: Trachelospermum asiaticum 'Summer Sunset' (Summer Sunset Asiatic Jasmine)- 2.5qt  
 LM: Liriope muscari (Liriope)- 2.5 qt  
 NE: Nephrolepis exalta (Sword Fern)- 2.5 qt  
 AE: Aspidistra elatior (Cast Iron Plant)- 2.5 qt  
 ZP: Zamia pumila (Coontie)- 2.5 qt

**Herbs/Wildflowers**  
 RO: Rosmarinus officinalis (Rosemary)- 1/2 gal  
 MS: Mentha spicata (Spearmint, English Mint)- pots only  
 Lsp: Liatris spp.- seeds  
 GP: Gaillardia pulchella (Blanketflower)- seeds

**Wetland Plants**  
 SG: Solidago gigantea (Giant Goldenrod)- seeds  
 IH: Iris hexagona (Louisiana Iris)- seeds

**Vines**  
 TJ: Trachelospermum jasminoides (Confederate jasmine)- 1 gal

**Tree Replacement**

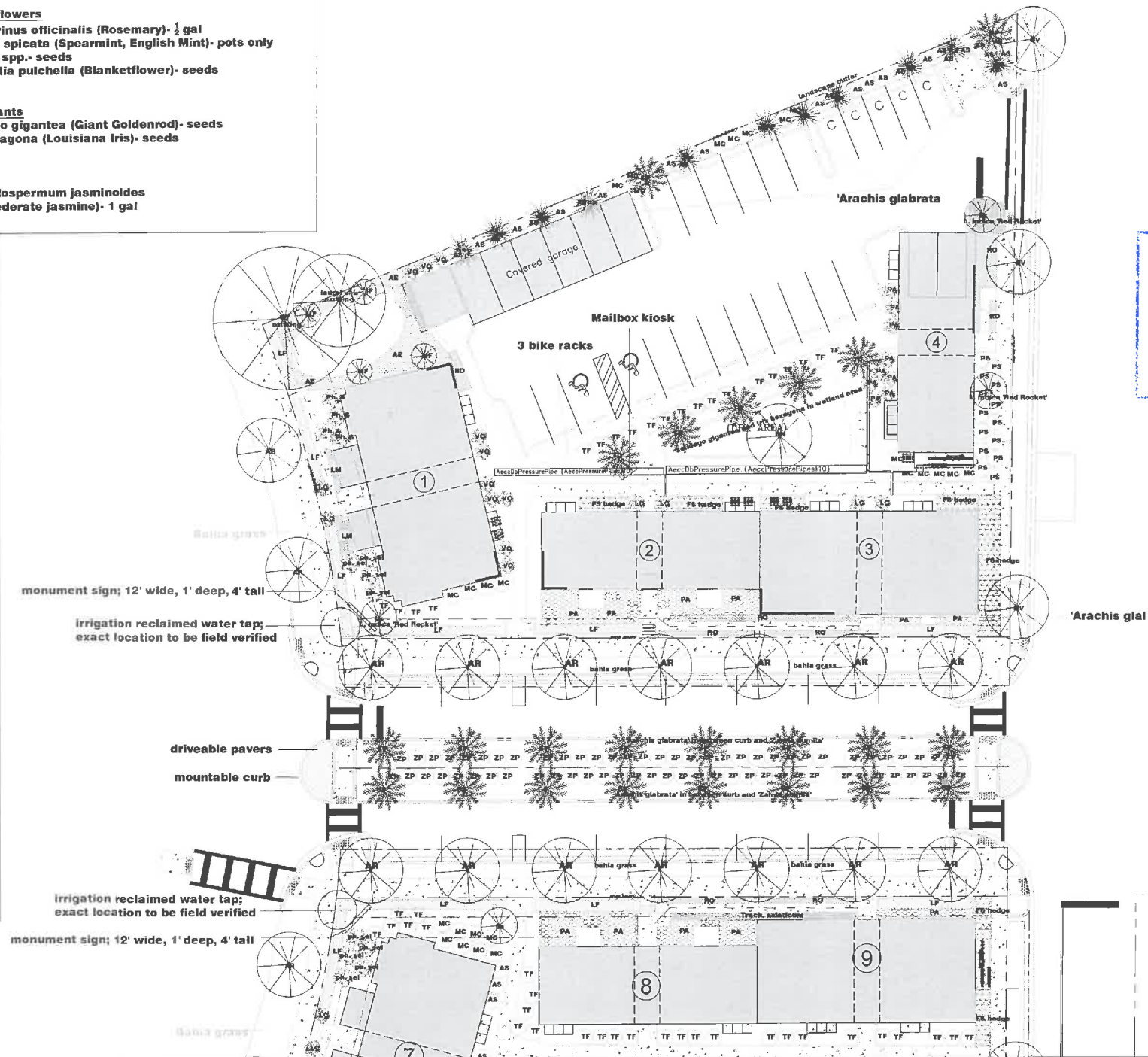
**Phase 1 Trees to be removed:**  
 7 x Sabal palmetto(Cabbage Palms); good health  
 1 x Juniperus virginiana(Southern Red Cedar); 20" DBH; poor health  
 Total shade tree DBH removed: 20"

**Phase 1 Tree Replacement:**  
 4 x Taxodium distichum(Bald Cypress); 3" DBH, minimum 8' tall; 45 gallon= 12" DBH  
 3 x Quercus virginiana(Live Oak); 4" DBH; 100 gallon= 12" DBH  
 Total shade tree DBH replaced: 24"

**Phase 2 Trees to be removed:**  
 15 x Sabal palmetto(Cabbage Palms); average health  
 1 x Washingtonia robusta(Washington Palm); poor health  
 1 x Magnolia grandiflora(Southern Magnolia); 11" DBH; average health  
 1 x Juniperus virginiana(Southern Red Cedar); 6" DBH; average health  
 1 x Juniperus virginiana(Southern Red Cedar); 10" DBH; average health  
 1 x Juniperus virginiana(Southern Red Cedar); 12" DBH; average health  
 1 x Juniperus virginiana(Southern Red Cedar); 15" DBH; average health  
 1 x Juniperus virginiana(Southern Red Cedar); 16" DBH; average health  
 1 x Juniperus virginiana(Southern Red Cedar); 22" DBH; poor health  
 1 x Juniperus virginiana(Southern Red Cedar); 23" DBH; poor health  
 1 x Quercus laurifolia(Laurel Oak); 19" DBH; average health  
 1 x Quercus laurifolia(Laurel Oak); 27" DBH; average health  
 1 x Quercus laurifolia(Laurel Oak); 28" DBH; poor health  
 1 x Quercus laurifolia(Laurel Oak); 29" DBH; poor health  
 Total shade tree DBH removed: 218"

**Phase 2 Tree Replacement:**  
 13 x Taxodium distichum(Bald Cypress); 6" DBH, 45 gal  
 5 x Quercus virginiana(Live Oak); 5" DBH, 45 gal  
 23 x Acer rubrum (Florida Maple); 5" DBH, 45 gal (both phases)  
 1x quercus geminata (Scrub Oak); 6" DBH, 45 gal  
 6 x Pinus palustris (Longleaf Pine); 2" DBH, 15 gal  
 Total shade tree DBH replaced: 236"

**Phase 1 and 2 total shade tree DBH removed: 238"**  
**Phase 1 and 2 total shade tree DBH replaced: 260"**



General Notes

Preliminary site plan approval

**Plant Legend**

- palm tree or cypress
- shade tree
- pine tree
- medium shrub
- grasses or small shrub

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MAR 22 2017

DEVELOPMENT DEPARTMENT  
 CITY OF NEW PORT RICHEY

SCALE 1" = 20'

Approved by DEC 3-23-17

No.	Revision/Issue	Date

Firm Name and Address  
 People Places  
 5742 Main St  
 New Port Richey, FL 34652

Project Name and Address  
 Residences at Orange Lake  
 6571 Circle Blvd  
 New Port Richey, FL 34652

Project	Phase 1	Sheet	LA1
Date	2/25/2017		
Scale	As Noted		

**Plant List**

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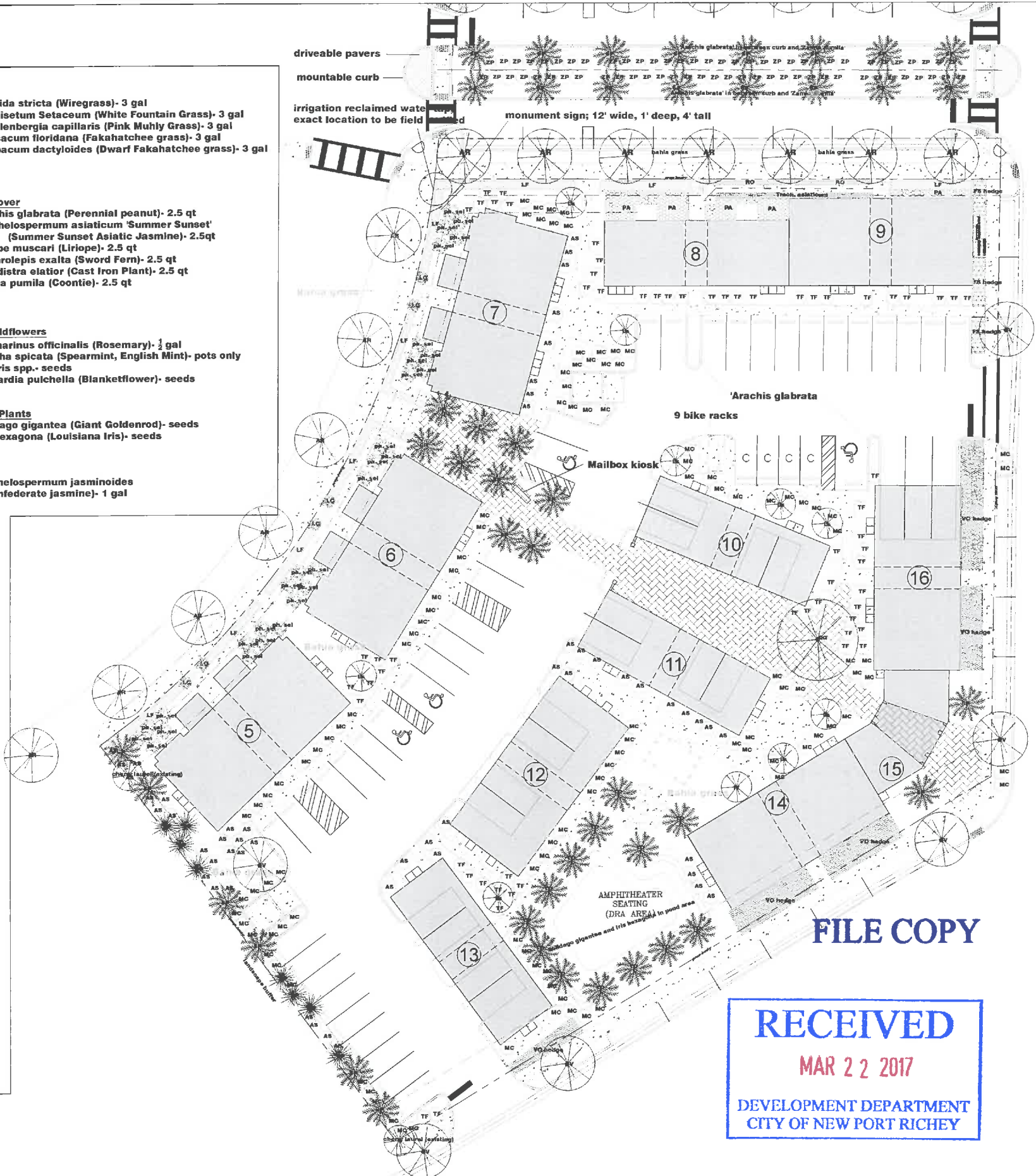
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Approved by DRC 3.23.17  
 [Signature]

General Notes  
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**Plant Legend**

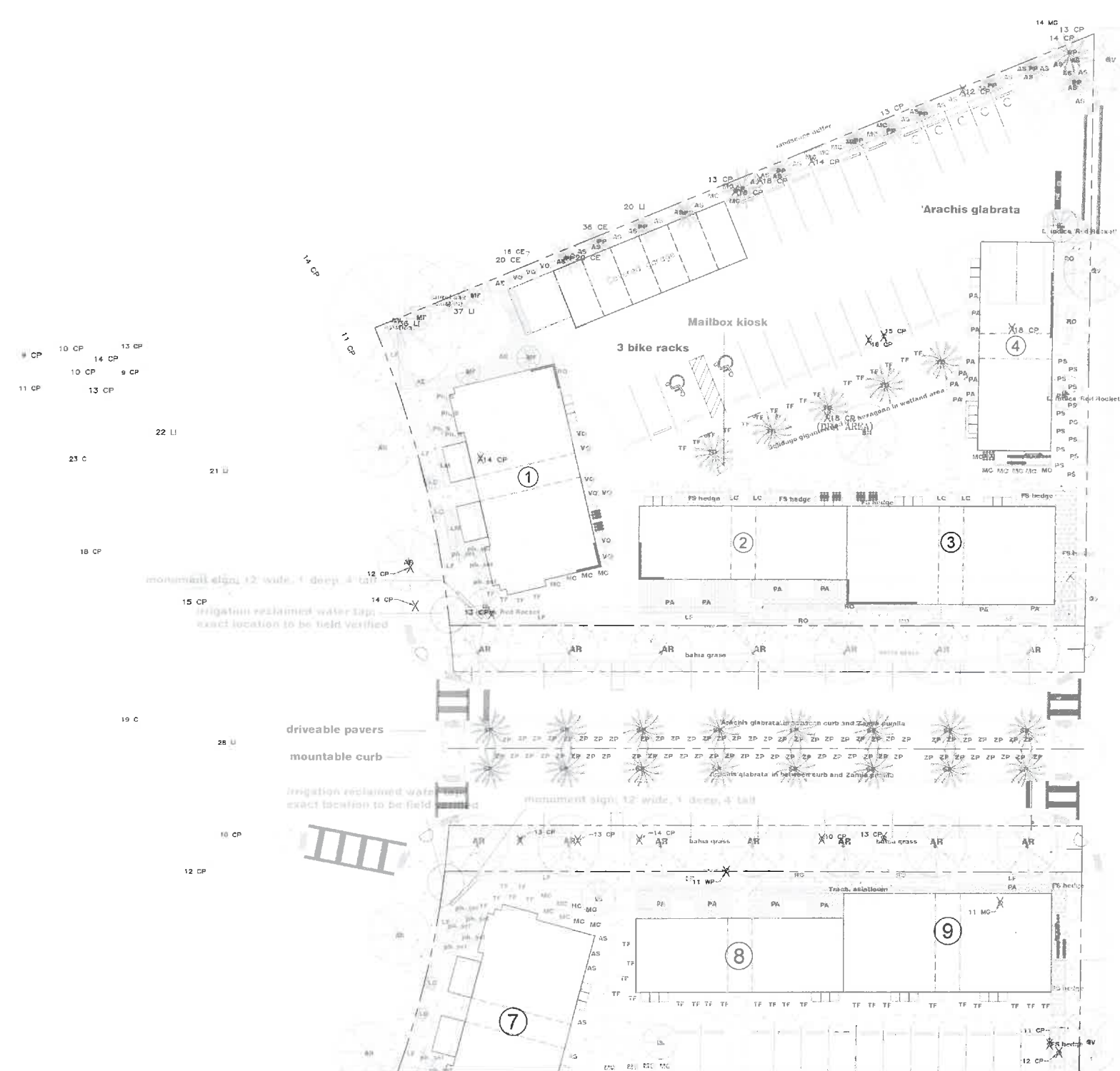
- palm tree or cypress
- shade tree
- pine tree
- medium shrub
- grasses or small shrub

No. Revision/Issue Date

Firm Name and Address  
 People Places  
 5742 Main St  
 New Port Richey, FL 34652

Project Name and Address  
 Residences at Orange Lake  
 6571 Circle Blvd  
 New Port Richey, FL 34652

Project Phase 2 Sheet  
 Date 2/25/2017 LA2  
 Scale As Noted



- 10 CP
- 11 CP
- 12 CP
- 13 CP
- 14 CP
- 15 CP
- 16 CP
- 17 CP
- 18 CP
- 19 C
- 20 LI
- 21 LI
- 22 LI
- 23 C
- 24 LI
- 25 LI
- 26 LI
- 27 LI
- 28 LI
- 29 LI
- 30 LI
- 31 LI
- 32 LI
- 33 LI
- 34 LI
- 35 LI
- 36 LI
- 37 LI

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General Notes

Preliminary site plan approval

### Tree Demo and Replacement

**Plant Legend**

- palm tree or cypress
- shade tree
- pine tree
- medium shrub
- grasses or small shrub

**Tree Demo Legend**

- C- cypress
- CE- Cedar tree
- CL- Cherry Laurel
- CP- Cabbage Palm
- LA- Laurel Oak
- LI- Live Oak
- MG- Southern Magnolia
- SL- Slash Pine
- WP- Washington Palm
- X- to be removed

No.	Revision/Issue	Date

Firm Name and Address

People Places  
5742 Main St  
New Port Richey, FL 34652

---

Project Name and Address

Residences at Orange Lake  
6571 Circle Blvd  
New Port Richey, FL 34652

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Project	Sheet
Date	LA3
2/25/2017	
Scale	As Noted



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Tree Demo and Replacement

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No.      Revision/Issue      Date

Firm Name and Address  
 People Places  
 5742 Main St  
 New Port Richey, FL 34652

Project Name and Address  
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 6571 Circle Blvd  
 New Port Richey, FL 34652

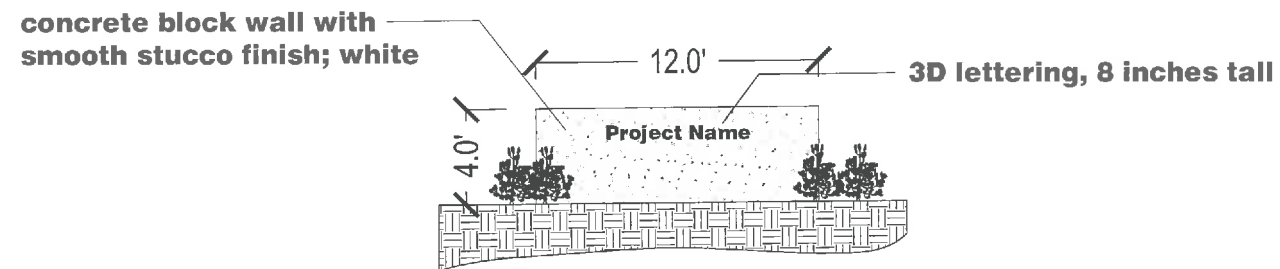
Project	Sheet
Date 2/25/2017	LA4
Scale As Noted	

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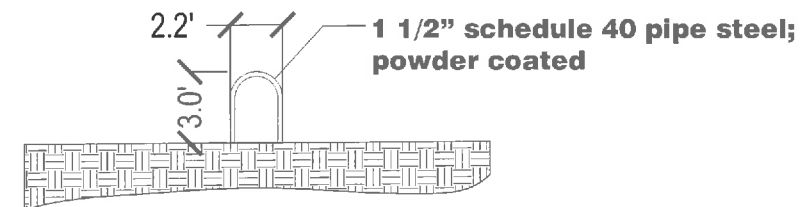
Preliminary site plan approval

Construction Details

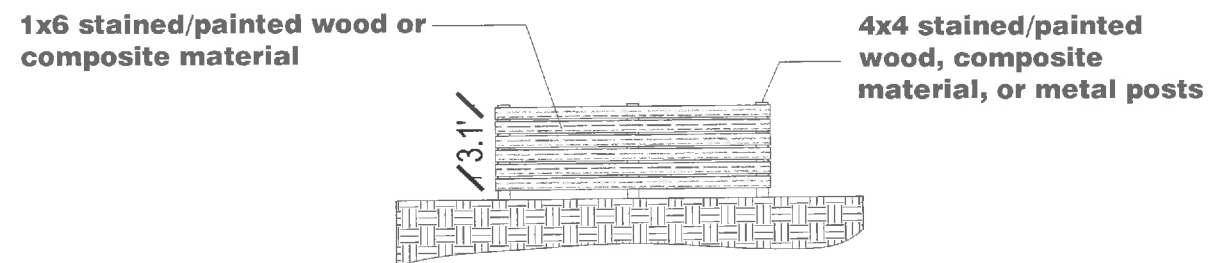
**Momument Sign**



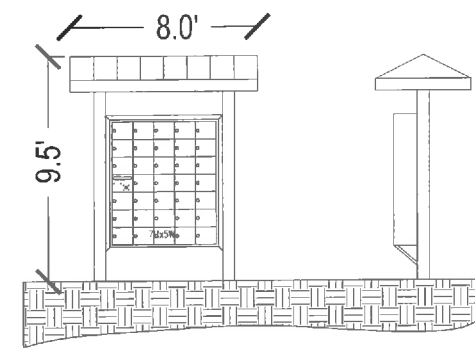
**Bike Rack Detail**



**Typical Mech Equipment Screening**



**Mailbox Kiosk**



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 CITY OF NEW PORT RICHEY

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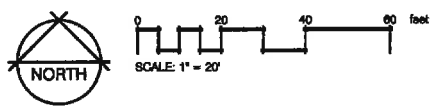
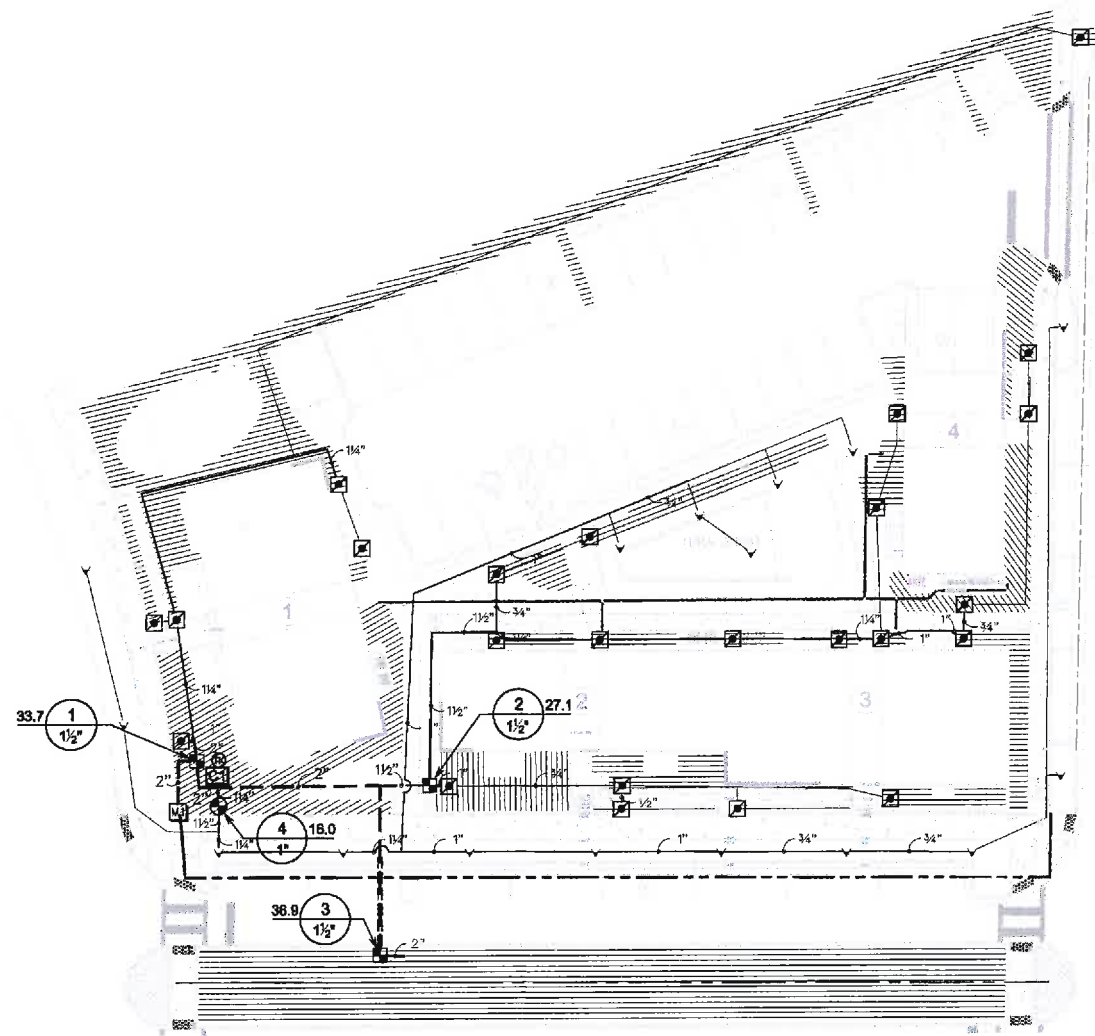
No.	Revision/Issue	Date

Firm Name and Address  
 People Places  
 5742 Main St  
 New Port Richey, FL 34652

Project Name and Address  
 Residences at Orange Lake  
 6571 Circle Blvd  
 New Port Richey, FL 34652

Project	Sheet
Date 2/25/2017	LA5
Scale As Noted	

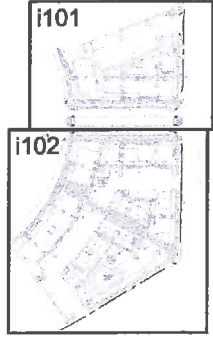
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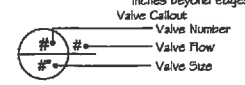
*Approved by Dec. 3. 23. 17*



Sheet Key

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	FSI
	Hunter PRO5-00-PCN Flood Bubbler, on fixed riser.	60	20
	Hunter ICZ-151-40 1-1/2" Drip Control Zone Kit, 1-1/2" ICV Globe Valve with 1" HYD 00 filter system. Pressure Regulation: 40psi. Flow Range: 20 GPM to 60 GPM. 120 mesh stainless steel screen.	6	
	Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with riser in 6" (150mm) drip box.	73	
	Area to Receive Dripline Hunter PLD-R-0G-12 (12) In-Line Pressure Compensating Landscape Dripline with Built-In Check Valve. 0.6GPH emitters at 12.0" O.C. Dripline laterals spaced at 12.0" apart, with emitters offset for triangular pattern. UV Resistant. Purple Tubing for Reclaimed Water Use.	22,758 s.f.	
	Hunter ICV-G 1" 1", 1-1/2", 2", and 3" Plastic Electro Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	2	
	Hunter ACC-2400 24 Station Outdoor Modular Controller. With two ACM-600 module. High-End Commercial Use. Metal Cabinet.	1	
	Hunter ACC-2400 24 Station Outdoor Modular Controller. With two ACM-600 module. High-End Commercial Use. Metal Cabinet.	1	
	Hunter MINI-CLK Rain Sensor, mount as noted	2	
	Water Meter 2" Reclaim Meter Ph2	1	
	Water Meter 2" Reclaim Meter Ph2	1	
	Irrigation Lateral Line: PVC Schedule 40 1/2" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	1,812 l.f.	
	Irrigation Lateral Line: PVC Schedule 40 3/4" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	397.3 l.f.	
	Irrigation Lateral Line: PVC Schedule 40 1" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	792.6 l.f.	
	Irrigation Lateral Line: PVC Schedule 40 1 1/4" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	547.7 l.f.	
	Irrigation Lateral Line: PVC Schedule 40 1 1/2" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	189.8 l.f.	
	Irrigation Lateral Line: PVC Schedule 40 2" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	515.7 l.f.	
	Irrigation Lateral Line: PVC Schedule 40 2 1/2" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	300.7 l.f.	
	Irrigation Lateral Line: PVC Schedule 40 3" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	180.8 l.f.	
	Irrigation Mainline: PVC Schedule 40 1 1/4" Purple Pipe	4.5 l.f.	
	Irrigation Mainline: PVC Schedule 40 1 1/2" Purple Pipe	11.7 l.f.	
	Irrigation Mainline: PVC Schedule 40 2" Purple Pipe	114.6 l.f.	
	Irrigation Mainline: PVC Schedule 40 2 1/2" Purple Pipe	175.0 l.f.	
	Pipe Sleeve: PVC Class 200 SDR 21 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	20.9 l.f.	
	Pipe Sleeve: PVC Class 200 SDR 21 6" Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	103.0 l.f.	



ORANGE LAKE APARTMENTS  
NEW PORT RICHEY FLORIDA

---

Prepared for:  
**PEOPLE PLACES STUDIO**  
5742 HART STREET  
NEW PORT RICHEY, FL 34642

---

Prepared by:  
  
**Cornerstone**  
14652 Railway Station Blvd  
Dade City, Florida 33528  
PH 888.617.2228  
FX 888.670.2000  
Landscape Architecture  
Landscape Planning  
Heritage Design  
FL Reg #03000498

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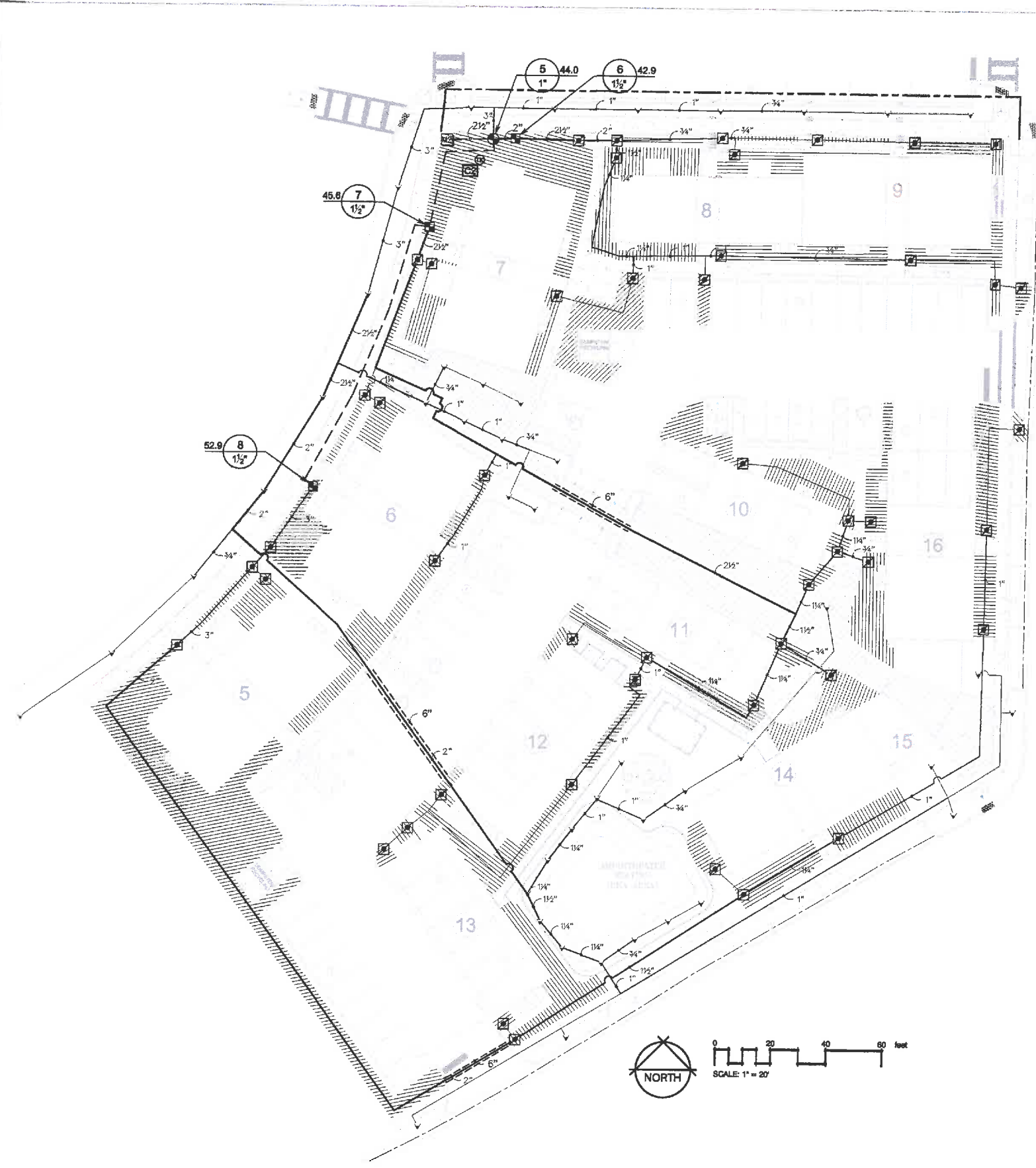
Mark A. Whitaker,  
Landscape Architect  
FL #000028

SCALE: AS SHOWN  
DATE: 2-24-17  
PIN: DC588  
PROJ MGR: MAW

Phase 1  
Irrigation Plan

**i101**

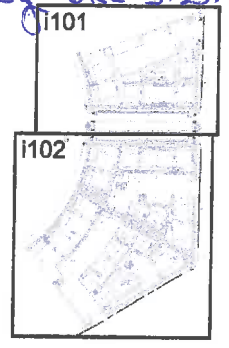
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 P:\Design Center\Design Projects\DC598 Orange Lake Area\Sheet\1102 Orange Lake Area - Irrigation - 1102.dwg  
 2017 connections. All ideas, design, arrangements, and plans represented by this drawing are owned by and the property of Cornerstone, and are intended for the use of the client. All other rights reserved.



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 CITY OF NEW PORT RICHEY

*Approved by DRC 3.23.17*



Sheet Key

**IRRIGATION NOTES**

1. IRRIGATION CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL CONDITIONS AND DIMENSIONS AS SHOWN ON THE PLANS PRIOR TO SUBMISSION OF BID. THE PLANS ARE SCHEMATIC AND THE CONTRACTOR SHALL DETERMINE ANY AND ALL NECESSARY MATERIALS TO MEET THE INTENT OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND COORDINATING PRIOR TO BEGINNING OF INSTALLATION OF IRRIGATION SYSTEM WITH GENERAL CONTRACTOR REGARDING TYPE AND LOCATION OF WATER SOURCE.
2. IRRIGATION CONTRACTOR SHALL PROVIDE A FULLY OPERATIONAL IRRIGATION SYSTEM FOR 100% OVERLAP COVERAGE OF ALL LANDSCAPE AND TURF AREAS AS INDICATED ON THE LANDSCAPE AND IRRIGATION PLANS. (SEE WRITTEN SPECIFICATIONS)
3. THE CONTRACTOR SHALL VERIFY EXISTING GPM / PSI FROM THE PROPOSED WATER SOURCE AND IF NEEDED, THE CONTRACTOR SHALL ADJUST AND BALANCE THE PROPOSED ZONES AS NECESSARY TO MEET ACTUAL GPM / PSI REQUIREMENTS. THE CONTRACTOR SHALL ALSO ADD HEADS AS NEEDED FOR FULL 100% COVERAGE IF SCHEMATIC PLAN LOCATIONS ARE INSUFFICIENT.
4. COORDINATE OPERATION OF THE TIMER FOR PROPER ZONE SEQUENCING AND OPTIMUM WATERING TIME. VERIFY TIMER LOCATION AND START / STOP TIMES OF OPERATION WITH OWNER. TIMER SHALL BE LOCATED ON AN EXTERIOR WALL IN A LOCKING WALL-MOUNTED UNIT PER LEGEND. THE GENERAL CONTRACTOR'S ELECTRICIAN SHALL PROVIDE 120V, 20 AMP POWER TO THE TIMER. COORDINATE ELECTRICAL SUPPLY REQUIREMENTS WITH THE GENERAL CONTRACTOR.
5. PIPING ON PLANS IS DIAGRAMMATICALLY ROUTED FOR GRAPHIC CLARITY, ACTUAL PLACEMENT SHALL BE LOCATED WITHIN PROPERTY BOUNDARY AND IN "GREENSPACE" AREAS ADJACENT TO STRUCTURES AS PER INDUSTRY STANDARDS. COORDINATE INSTALLATION WITH PLANTING PLAN SO CONFLICTS WITH PROPOSED LOCATIONS OF TREES, PALMS, AND SHRUBS WILL BE AVOIDED. PLACE PIPING THE TRENCH ADJACENT TO CURBING OR EDGE OF PAVEMENT WHERE POSSIBLE.
6. CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLANS AND SPECIFICATIONS TO DETERMINE WHERE IRRIGATION HEADS SHALL BE INSTALLED ON RISERS. HEIGHTS OF ALL RISERS SHALL BE ADJUSTED AFTER LANDSCAPE INSTALLATION IS COMPLETE. RISERS SHALL BE PAINTED BLACK WITH PROFESSIONAL QUALITY FLAT ENAMEL SPRAY PAINT. ADJUST SPRINKLER ARC, RADI, AND TRAJECTORY AFTER LANDSCAPE INSTALLATION IS COMPLETED TO ASSURE 100% OVERLAP COVERAGE. ALL RISERS SHALL BE GALVANIZED STAINLESS STEEL, EMT STAKE AND SECURED BY TWO STAINLESS STEEL CLAMPS. NO RISER SHALL BE INSTALLED ADJACENT TO ANY PEDESTRIAN WALKWAY. 12" POP-UP HEADS SHALL BE USED IN GROUND COVER BEDS ADJACENT TO WALKWAYS AND IN PARKING ISLANDS. (TYP)
7. CONTRACTOR SHALL DETERMINE LOCATIONS OF ALL UNDERGROUND UTILITIES AND IMPROVEMENTS PRIOR TO START OF WORK ON-SITE. COORDINATE WITH THE GENERAL CONTRACTOR AND SITE LIGHTING CONTRACTOR FOR INSTALLATION OF PROPOSED LIGHTING AND ELECTRICAL CONDUITS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK. THE IRRIGATION CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR ANY AND ALL DAMAGE THAT RESULTS FROM HIS ACTIVITIES DUE TO IMPROPER VERIFICATION OF UTILITIES AND / OR OPERATOR ERROR DURING EXCAVATIONS. SEE RELATED CIVIL PLANS FOR ADDITIONAL INFORMATION.
8. IRRIGATION CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY GOVERNING AGENCIES. SUBMIT COPIES OF PERMITS TO OWNER'S CONSTRUCTION REPRESENTATIVE. IRRIGATION CONTRACTOR SHALL BE PROPERLY LICENSED AND INSURED.
9. ADJUST SPRINKLER ARC, RADI, AND TRAJECTORY AFTER LANDSCAPE INSTALLATION IS COMPLETED TO INSURE 100% OVERLAP COVERAGE. INSTALL PROPER NOZZLE AS FIELD CONDITIONS REQUIRE FOR OVERLAP COVERAGE. RAISE OR LOWER SPRINKLER HEADS AS REQUIRED.
10. WHERE MAINLINE OR LATERAL LINES ARE COVERED BY PAVING, A SCHEDULE 40 PVC SLEEVE SHALL BE INSTALLED WITH THE SPOKER LATERAL LINE AND STUBBED UP WITH END CAPS AS SHOWN IN DETAIL. SLEEVE SIZE SHALL BE TWO TIMES LARGER (I.D.) THAN THE SIZE OF THE LATERAL LINE "WET-PIPE" SIZE INDICATED ON THE PLANS.
11. ALL MAINLINES SHALL BE BURIED A MINIMUM OF 18" BELOW FINISH GRADE. MAINLINE SHALL BE BURIED A MINIMUM OF 28" AT ROAD CROSSINGS. ALL LATERAL LINES SHALL BE BURIED A MINIMUM DEPTH OF 12" BELOW FINISH GRADE. INSTALL MAINLINE IN SAME TRENCH A LATERAL LINES WHERE POSSIBLE.
12. ALL POP-UP SPRINKLER HEADS SHALL BE INSTALLED ON 1/2" OR 3/4" OR 18" SPEARS FLEX PIPE CONNECTION. FLEX PIPE CEMENT SHALL BE USED ON ALL CONNECTIONS BETWEEN FLEXIBLE PVC AND RIGID PVC.
13. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING RAIN BIRD "SNAP-TITE" WIRE SPLICE KITS AND SEALANT.
14. WIRE SHALL BE UF-800 VOLT DIRECT BURIAL 14 GAUGE WIRE INSTALLED DIRECTLY IN THE PIPE TRENCH, BUNDLED AND TAPED EVERY TEN FEET ALONG THE MAINLINE WITH EXPANSION LOOPS PROVIDED AT EACH VALVE. "WHITE" COLOR FOR COMMON AND "RED" COLOR FOR CONTROL WIRES. AT TIME OF INSPECTION, WIRE THAT DOES NOT CONFORM TO SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.
15. BEFORE SPRINKLER HEADS ARE SET, THE CONTRACTOR SHALL OPEN CONTROL VALVES AND FLUSH THE LINES THOROUGHLY WITH A FULL HEAD OF WATER TO BE SURE THERE IS NO FOREIGN MATTER IN THE LINES. THE CONTRACTOR SHALL TEST THE LINES FOR LEAKAGE BY MAINTAINING A FULL HEAD OF PRESSURE (100 PSI) FOR ONE HOUR WITH CAPPED ENDS AFTER LINES ARE COMPLETE.
16. AT ANY TIME DURING THE INSTALLATION OF THE IRRIGATION SYSTEM BY THE CONTRACTOR, THE OWNER, ARCHITECT AND OR LANDSCAPE ARCHITECT MAY VISIT THE SITE TO MAKE OFFICIAL INSPECTIONS. UPON REQUEST, THE CONTRACTOR WILL BE REQUIRED TO UNCOVER SPECIFIED WORK AS DIRECTED BY THE INSPECTOR WITHOUT COMPENSATION. SHOULD THE MATERIAL, WORKMANSHIP OR METHOD OF INSTALLATION NOT MEET THE STANDARDS SPECIFIED HEREIN, THE CONTRACTOR SHALL IMMEDIATELY REPLACE THE WORK AT HIS OWN EXPENSE.
17. THE OWNER OR HIS DESIGNATED REPRESENTATIVE WILL RESPOND WITHIN TEN (10) DAYS AFTER NOTIFICATION BY THE CONTRACTOR OF COMPLETION FOR THE PURPOSE OF MAKING A FINAL INSPECTION OF THE SYSTEM. IF FINAL ACCEPTANCE IS NOT GIVEN AT THIS INSPECTION, A "PUNCH-LIST" OF UNSATISFACTORY ITEMS WILL BE PREPARED FOR COMPLETION BY THE IRRIGATION CONTRACTOR. AT SUCH TIME AS ALL "PUNCH-LIST" ITEMS HAVE BEEN COMPLETED AND APPROVED BY THE OWNER OR HIS DESIGNATED REPRESENTATIVE, THE CONTRACTOR SHALL BE NOTIFIED IN WRITING OF FINAL ACCEPTANCE. FINAL ACCEPTANCE BY THE OWNER WILL NOT BE GIVEN UNTIL ALL REQUIRED SUBMITTALS AND "AS-BUILT" DRAWINGS HAVE BEEN TURNED OVER TO THE OWNER AND LANDSCAPE ARCHITECT.
18. ALL MAINLINE TRENCHES SHALL BE HAND-DUG WITHIN THE CANOPY DRIP LINES OF ALL EXISTING TREES TO REMAIN.

REV	DATE	DESCRIPTION

**ORANGE LAKE APARTMENTS**  
 NEW PORT RICHEY FLORIDA

Prepared for:  
**PEOPLE PLACES STUDIO**  
 5742 MAIN STREET  
 NEW PORT RICHEY, FL 34642

Prepared by:  
  
**Cornerstone**  
14020 Bellamy Brothers Blvd  
 Dade City, Florida 34625  
 PH 888.677.3252  
 TO 888.529.0099  
 Landscape Architecture  
 Land Planning  
 Hardscape Design  
 FL Reg. #20020098

Mark A. Whiteaker  
 Landscape Architect  
 FL#6648028  
 SCALE: AS SHOWN  
 DATE: 2-24-17  
 PIN: DC598  
 PROJ MGR: MAW

**Phase 2  
 Irrigation Plan**

i102

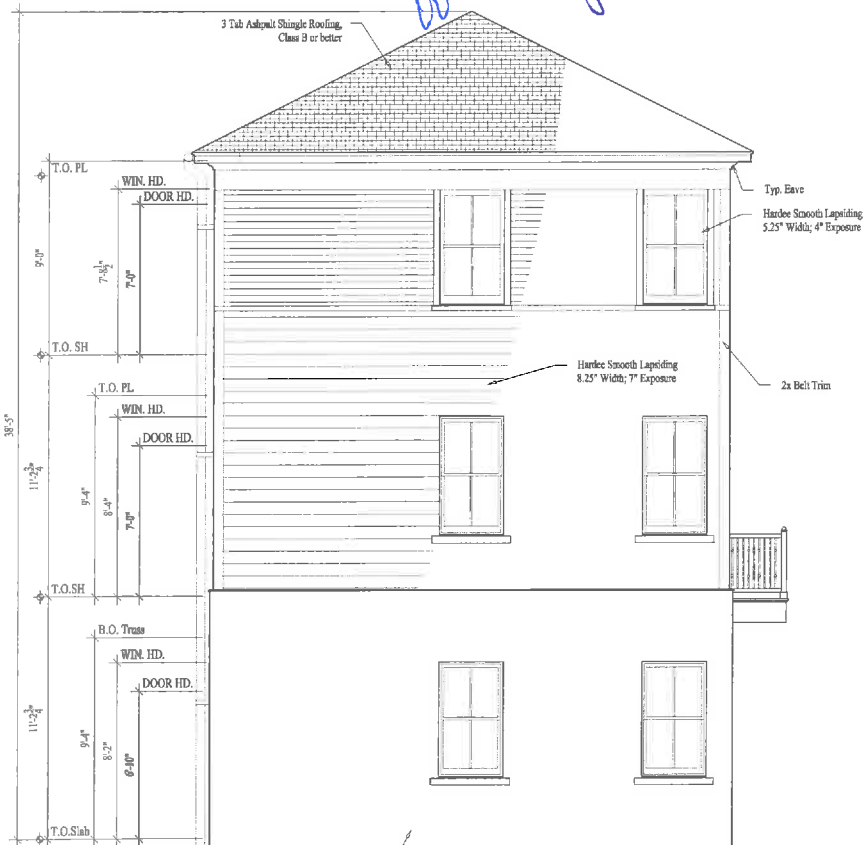
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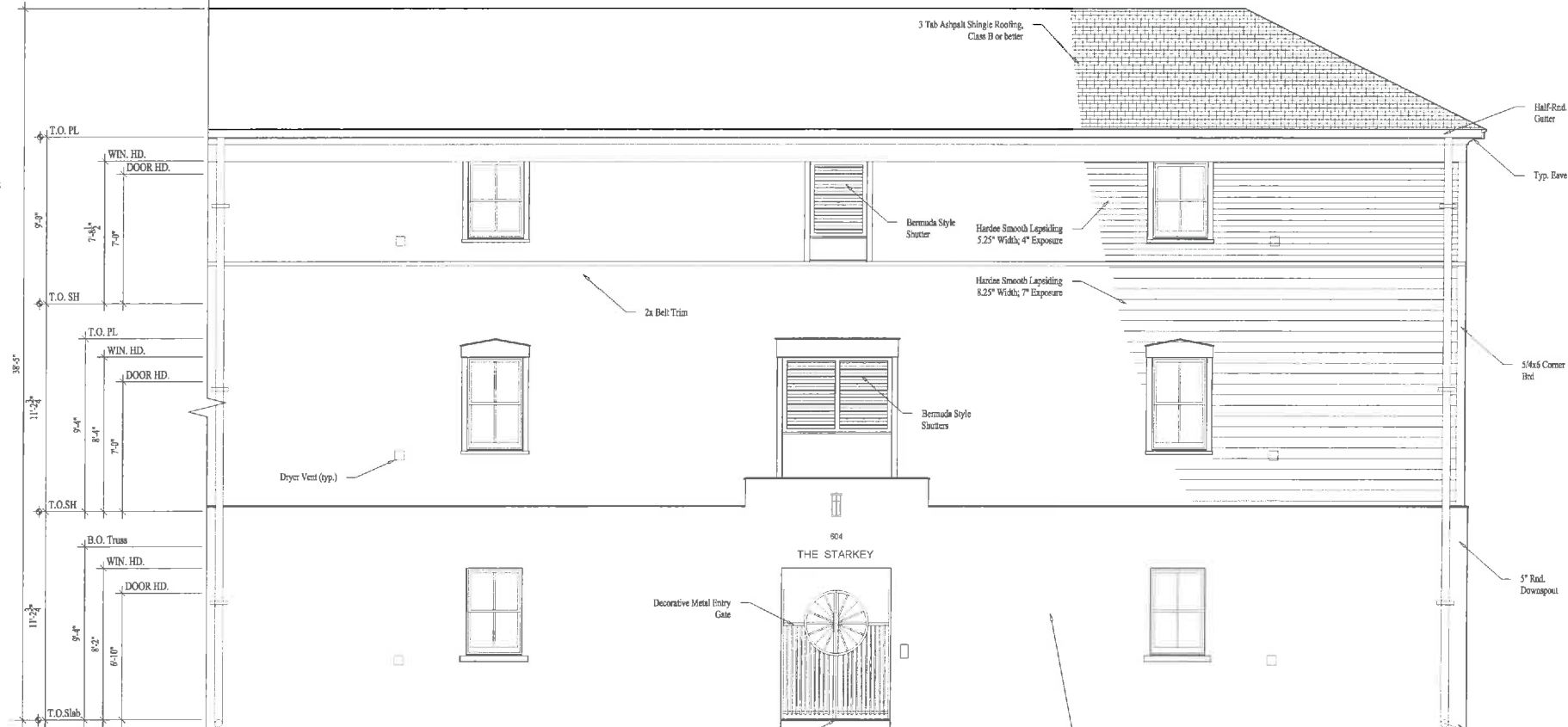
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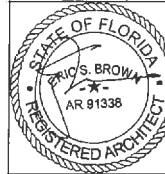
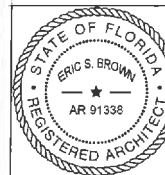
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 A3.0 1/4"=1'-0"



3 WEST ELEVATION  
 A3.0 1/4"=1'-0"



1 NORTH ELEVATION  
 A3.0 1/4"=1'-0"



Type A - 1BD  
 Orange Lake  
 New Port Richey, FL

**Brown Design Studio**  
 architecture urban design  
 24 drayton st. suite 604 savannah, georgia 31401  
 p. 912.349.5628 www.browndesign.com

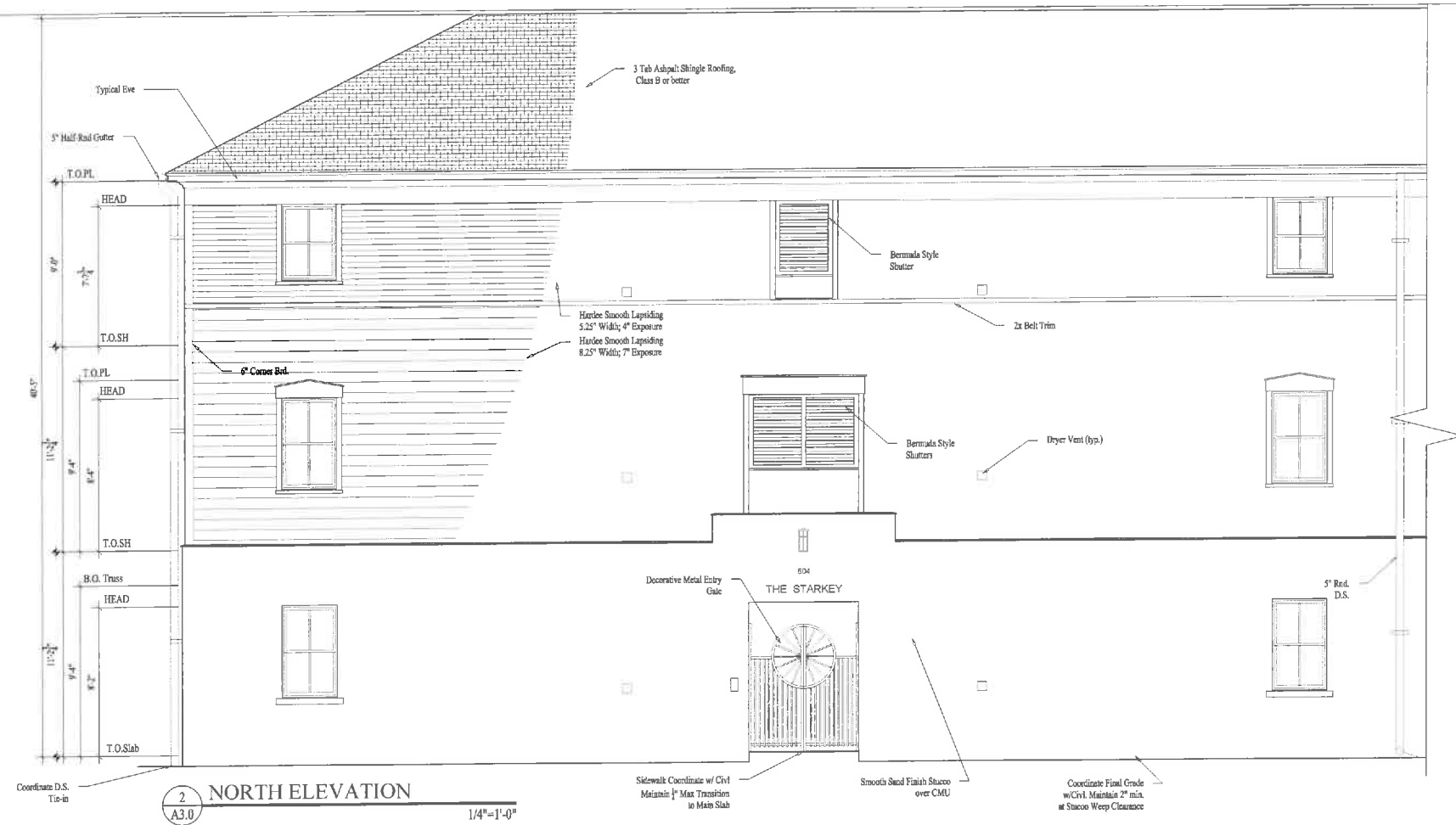
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12/06/16	PRICING SET
2/24/17	DRC Prelim Review

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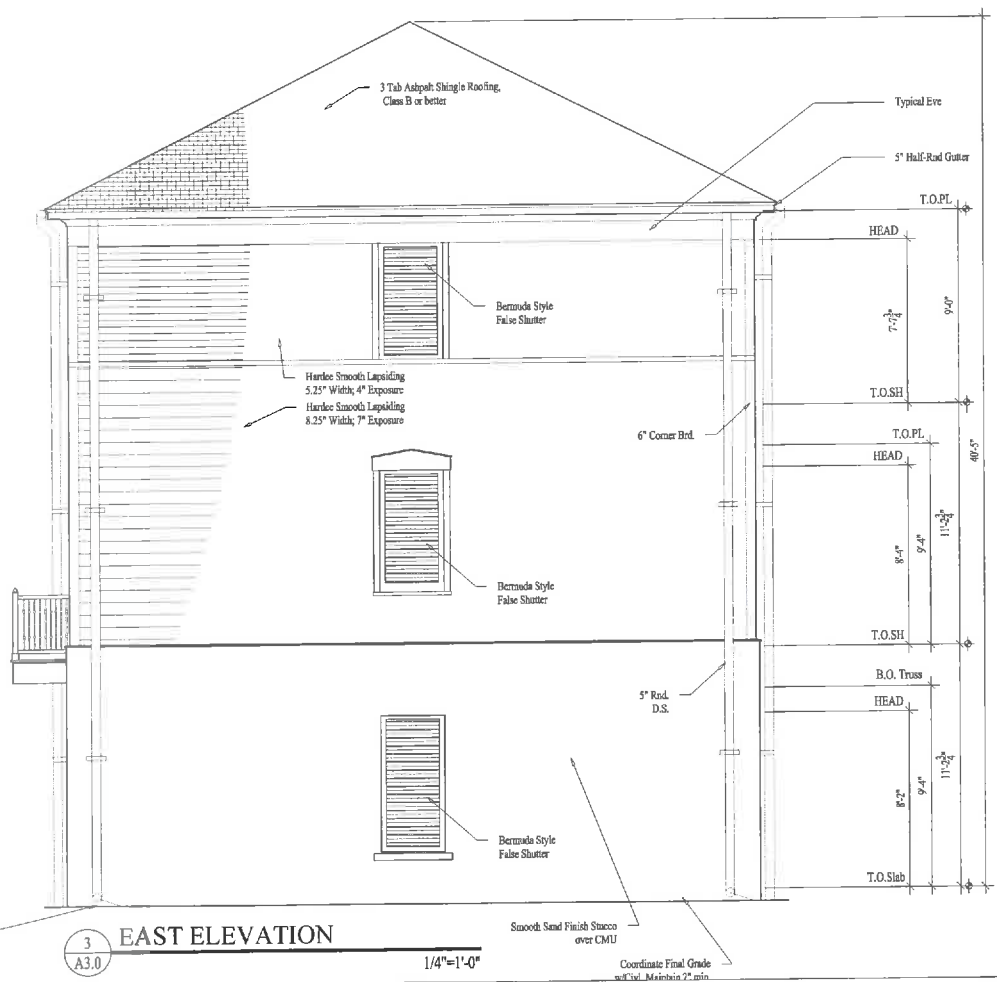


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*Approved by DRC 3.23.17*



**2 NORTH ELEVATION**  
 A3.0 1/4"=1'-0"



**3 EAST ELEVATION**  
 A3.0 1/4"=1'-0"



**1 SOUTH ELEVATION**  
 A3.0 1/4"=1'-0"

Type B - 2BD  
 Orange Lake  
 New Port Richey, FL

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 urban design  
 architecture  
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DATE	NOTES
08/25/16	SCHEMATIC
09/23/16	COORDINATION
09/27/16	COORDINATION
11/17/16	COORDINATION
12/08/16	PRICING SET
02/24/17	DRC Prelim. Review

**A3.0**

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MAR 22 2017

DEVELOPMENT DEPARTMENT  
CITY OF NEW PORT RICHEY

Approved by DRC 3.23.17  
*[Signature]*

Type C - 2Bed  
Orange Lake  
New Port Richey, FL



1 West Elevation

A3.0

1/4"=1'-0"

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DATE	NOTES
08/25/16	SCHEMATIC
11/16/16	Coordination
12/20/16	Pricing Set
02/24/17	DRC Prelim. Review

A3.0

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CITY OF NEW PORT RICHEY

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1 East Elevation  
A3.1 1/4"=1'-0"

Type C - 2Bed  
Orange Lake  
New Port Richee, FL

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DATE	NOTES
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11/16/16	Coordination
12/29/16	Pricing Set
02/24/17	DRC Prelim. Review

A3.1

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 CITY OF NEW PORT RICHEY

*Approved by DRC 3.23.17*

Type C - 2Bed  
 Orange Lake  
 New Port Richey, FL

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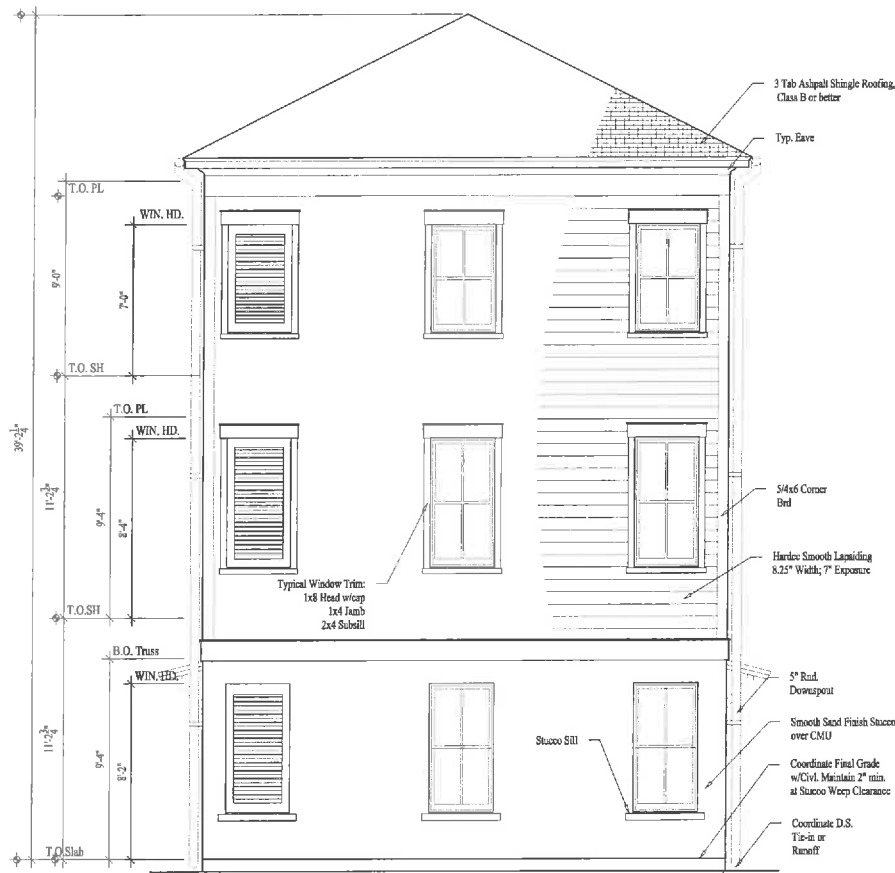
DATE	NOTES
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11/16/16	Coordination
12/20/16	Pricing Set
02/24/17	DRC Prelim. Review



2 North Elevation  
 A3.2 1/4"=1'-0"



1 South Elevation  
 A3.2 1/4"=1'-0"



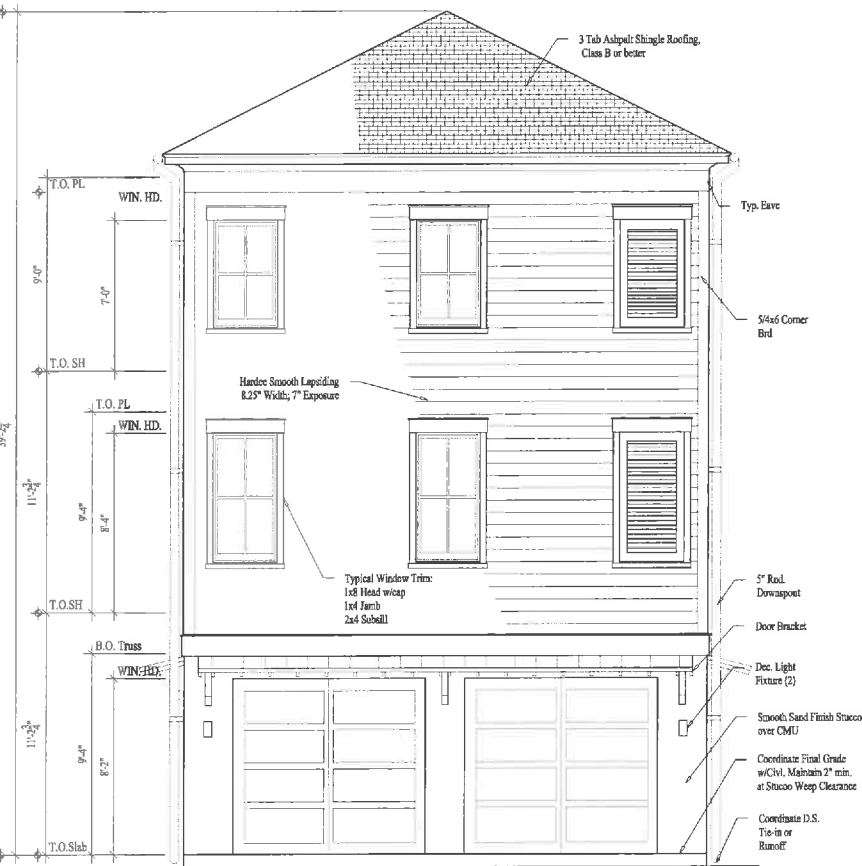
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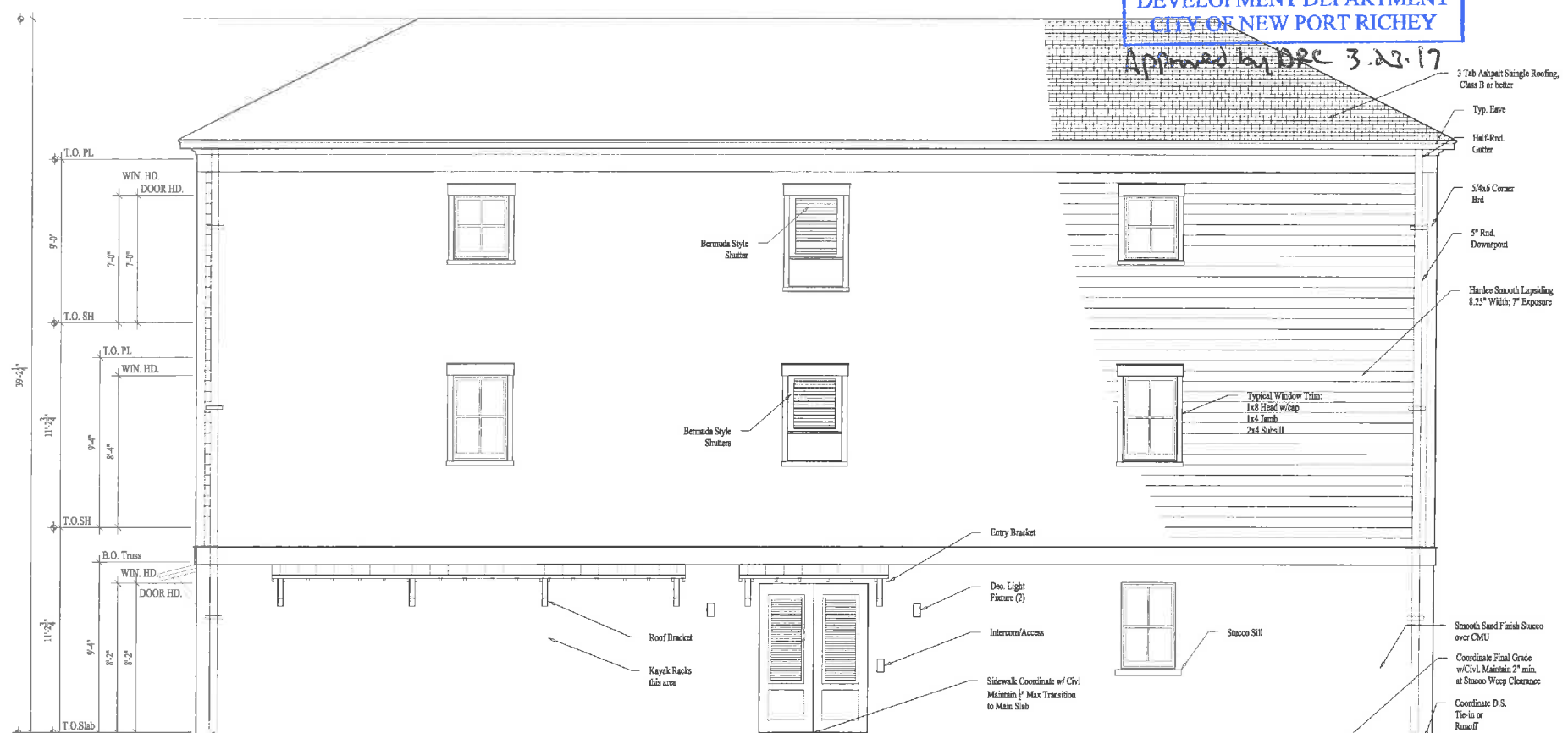
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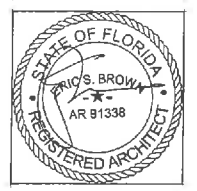
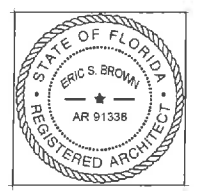
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CITY OF NEW PORT RICHEY  
Approved by DRC 3.22.17



3 NORTH ELEVATION  
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1 WEST ELEVATION  
A3.0 1/4"=1'-0"

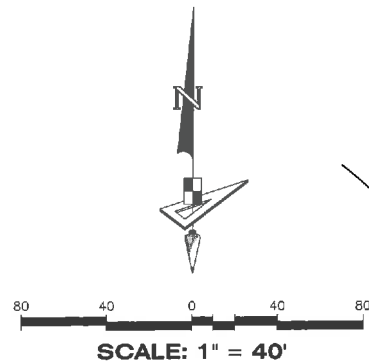


Type D - 1BD  
Orange Lake  
New Port Richee, FL

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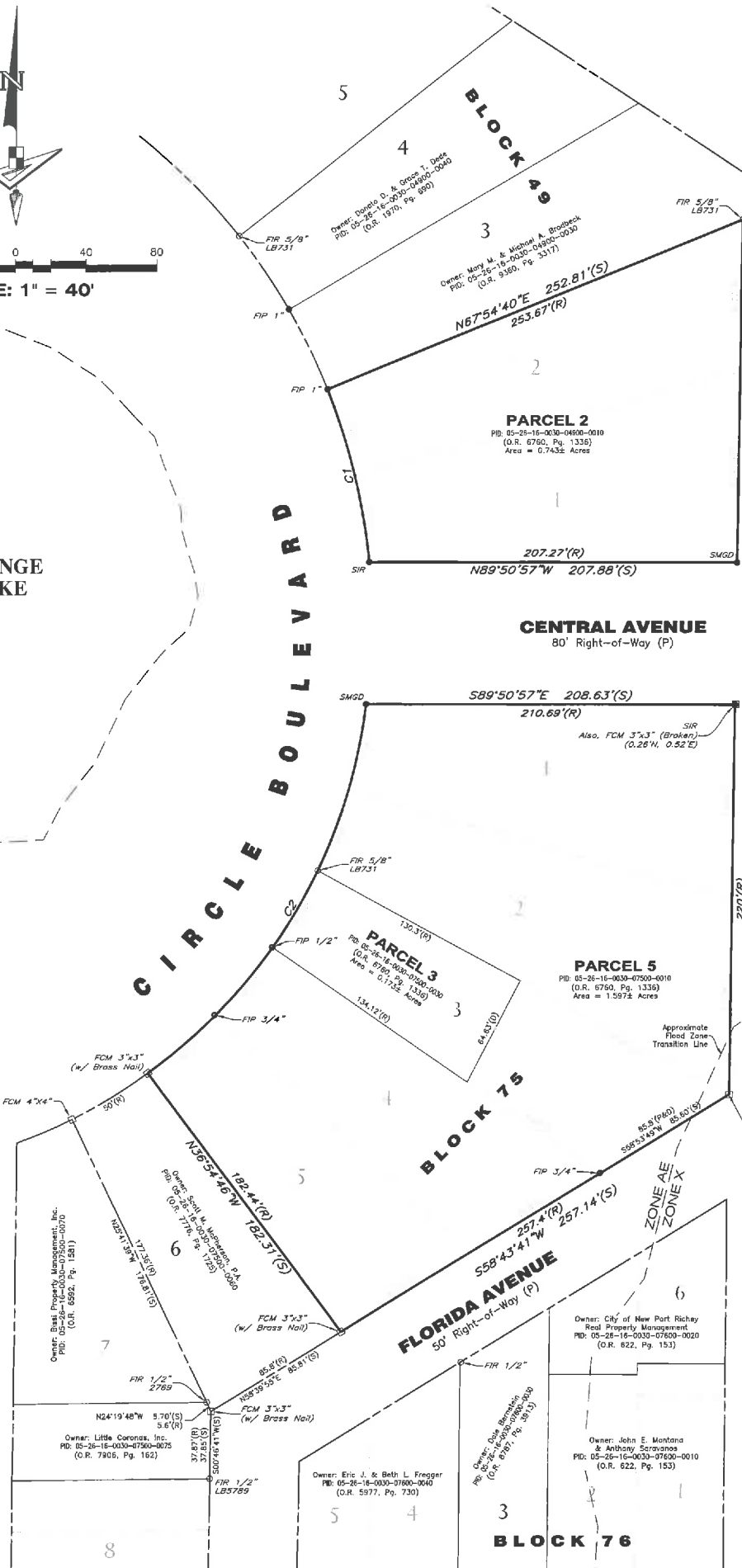
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09/23/16	COORDINATION
09/27/16	COORDINATION
11/17/16	COORDINATION
12/06/16	PRICING SET
12/19/16	PRICING SET
02/24/17	DRC.Prelim.Review

A3.0

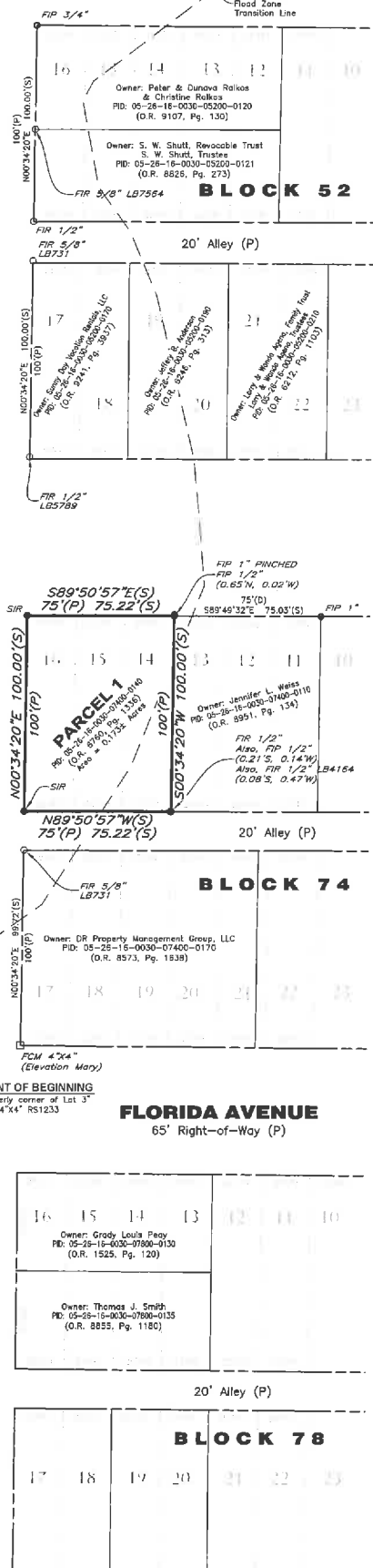


ORANGE LAKE

GRAND BOULEVARD  
60' Right-of-Way (P)



PENNSYLVANIA AVENUE



**DESCRIPTION:**

**PARCEL 1:**  
Lots 14, 15 and 16, Block 74, City of New Port Richey, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida

**PARCEL 2:**  
Lots 1 and 2, Block 49, City of New Port Richey, Florida, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida.

**PARCEL 3:**  
Lot 3, Block 75, City of New Port Richey, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida, LESS the following described portion thereof.

Commence at the most Easterly corner of Lot 3 for a Point of Beginning; thence run along the Southeastery boundary of said Lot 3, a distance of 85.8 feet to the most Southerly corner of Lot 3; thence Northwestery along the line between Lots 3 and 4, a distance of 50.99 feet; thence Northeastery a distance of 64.63 feet to the boundary between Lots 2 and 3; thence Southeastery along said boundary between Lot 2 and 3, a distance of 134.80 feet to the Point of Beginning.

**PARCEL 5:**  
Lots 1, 2, 4, and 5, Block 75, and part of Lot 3, Block 75, being further described as follows:

Commence at the most Easterly corner of said Lot 3 for a Point of Beginning; thence run along the Southeastery boundary of said Lot 3, 85.8 feet to the most Southerly corner of Lot 3; thence Northwestery along the line between Lots 3 and 4, 50.99 feet; thence Northeastery 64.63 feet to the boundary between Lot 2 and 3; thence Southeastery along said boundary between Lots 2 and 3, 134.80 feet to the Point of Beginning. Plat of City of New Port Richey, Florida, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida.

**SURVEYOR'S NOTES:**

- 1) This survey has been prepared without the benefit of a commitment for title insurance and is subject to title review and/or abstract. GeoPoint Surveying, Inc. makes no representations or guarantees pertaining to easements, rights-of-way, set back lines, reservations, agreements, or other similar matters. Any matters that may exist can be found in the public records of Pasco County, Florida.
- 2) This survey is limited to above ground visible improvements along and near the boundary lines, except as shown hereon, and that nothing below the ground was located including, but not limited to foundations (footings), utilities, etc.
- 3) Bearings shown hereon are based on the South boundary of Parcel 2 (also being the North right-of-way line of Central Avenue, having a Gnd bearing of N 89°50'57"W). The Grid Bearings as shown hereon refer to the State Plane Coordinate System, North America Horizontal Datum of 1983 (NAD 83-2011 ADJUSTMENT) for the West Zone of Florida.
- 4) Additions or Deletions to survey maps or reports by anyone other than the signing party, or parties, is prohibited without the written consent of the signing party or parties.
- 5) The subject property lies in Flood Zone "AE (EL 10)" and "X", according to Flood Insurance Rate Maps, Map Nos. 12101C0188F & 12101C0189F for Pasco County, Community No. 120230, Pasco County, Florida, dated September 26, 2014 and issued by the Federal Emergency Management Agency. Lines shown have been digitally translated from DFIRM database information supplied by the FEMA Map Service Center <https://msc.fema.gov>
- 6) Elevations shown hereon are based on the North American Vertical Datum of 1988 (NAVD 88) and are relative to National Geodetic Survey Tidal Benchmark "872 7001 B", having a Published Elevation = 7.02 feet (NAVD 88)
- 7) The record plat dimensions are mostly illegible. Some record dimensions shown hereon were taken from the Pasco County Tax Map records.

**FILE COPY**

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C1(S)	355.00'	16°14'33"	100.64'	100.30'	N 14°06'41" W
C2(S)	300.00'	47°28'24"	248.57'	241.52'	N 30°34'22" E



*Approved by DRC 3.22.17*

**LEGEND**

- |   |  |
|---|--|
| (S) ----- Survey Dimension                            | FIP ----- Found Iron Pipe              |
| (D) ----- Dated Dimension                             | FIR ----- Found Iron Rod               |
| (P) ----- Plot Dimension                              | FCM ----- Found Concrete Monument      |
| (R) ----- Record Dimension (per Pasco County Tax Map) | FMG ----- Found Mag Nail               |
| O.R. ----- Official Records Book                      | FMGD ----- Found Mag Nail & Disk       |
| P.B. ----- Plat Book                                  | LB ----- Licensed Business             |
| Pp(s) ----- Page(s)                                   | RS ----- Registered Surveyor           |
| SIR ----- Set 1/2" Iron Rod LB7768                    | PID ----- Parcel Identification Number |
| SMGD ----- Set Mag Nail & Disk LB7768                 | Elev ----- Elevation                   |

**RESIDENCES AT ORANGE LAKE BOUNDARY & TOPOGRAPHIC SURVEY**

REVISIONS

No.	Date	Description	Drawn

Prepared For: **CITY OF NEW PORT RICHEY**  
 Last Date of Field Survey: **08/02/2016**

**SURVEYOR'S CERTIFICATE**  
 This certifies that a survey of the herein described property was made under my supervision and meets the Standards of Practice set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 54-17.050, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

**John D. Weigle**  
 FLORIDA PROFESSIONAL SURVEYOR & MAPPER NO. **LS5246**  
 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

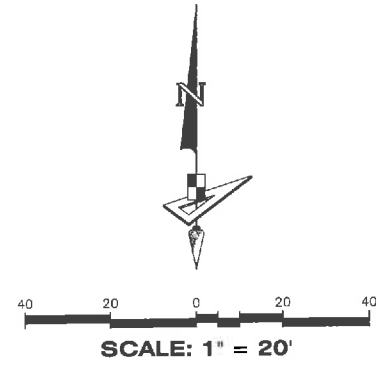
**GeoPoint Surveying, Inc.**  
 1403 E. 5th Avenue  
 Tampa, Florida 33605  
 www.geopointsurvey.com  
 Phone: (813) 248-8888  
 Fax: (813) 248-2266  
 Licensed Business Number 187768

Drawn: TS Date: 06/04/16 Data File: RESIDENCES ORANGE LAKE.CH  
 Check: JMW F.C.: CH Field Book: 23-2016/44-48  
 Section: 5 Township: 26 S Range: 16 E County: Pasco

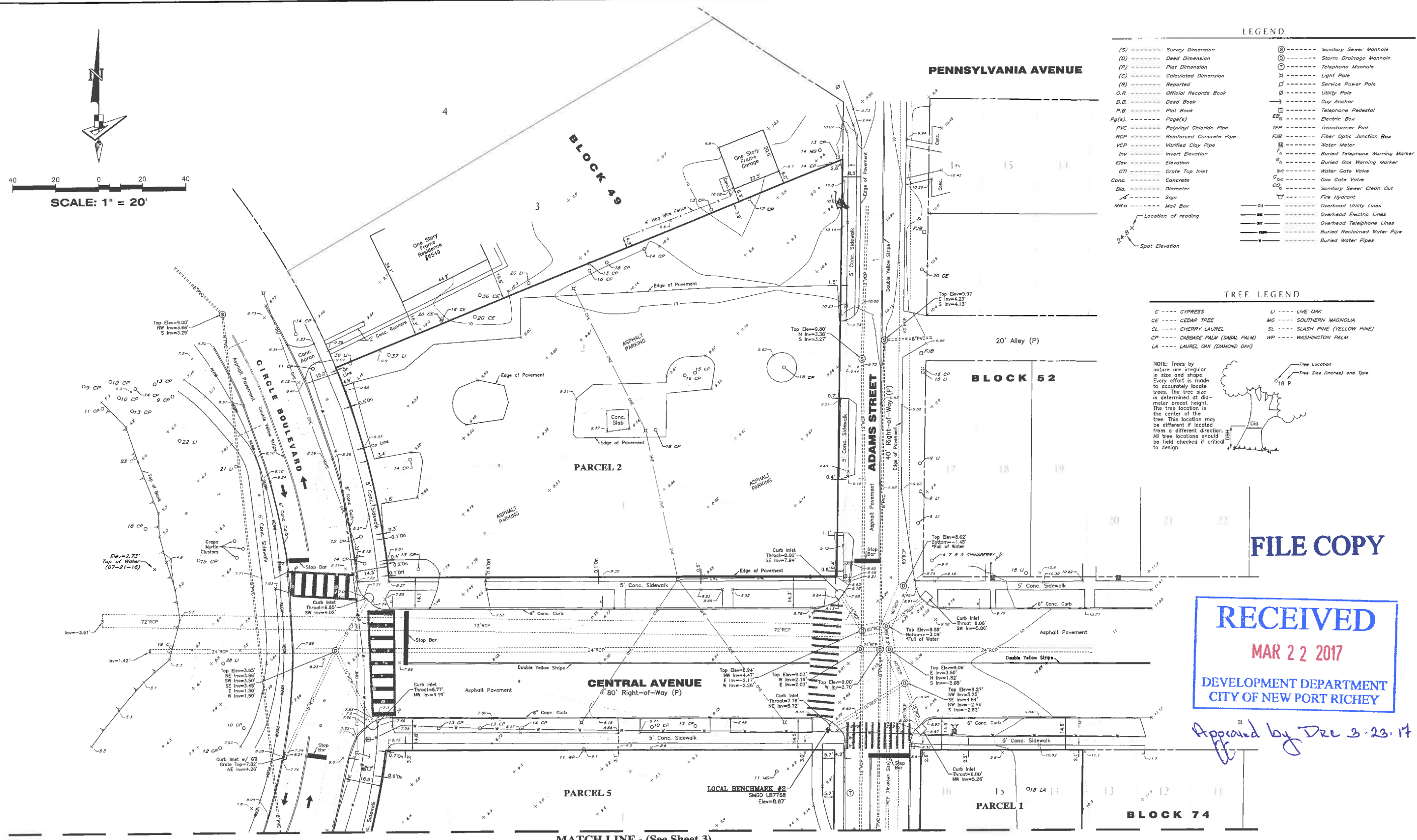
NOTE: See Sheets 2 and 3 for Improvements & Topographic Survey details.

**NAVD 88**

Sheet No. 1 of 3 Sheets



SCALE: 1" = 20'



- LEGEND**
- (S) --- Survey Dimension
  - (D) --- Deed Dimension
  - (P) --- Plat Dimension
  - (C) --- Calculated Dimension
  - (R) --- Reported
  - O.R. --- Official Records Book
  - D.B. --- Deed Book
  - P.B. --- Plat Book
  - Pg(s). --- Page(s)
  - PVC --- Polyvinyl Chloride Pipe
  - RCP --- Reinforced Concrete Pipe
  - VCP --- Vitrified Clay Pipe
  - Inv --- Invert Elevation
  - Elev --- Elevation
  - G.T.I. --- Grate Top Inlet
  - Conc. --- Concrete
  - Dia. --- Diameter
  - Sign --- Sign
  - M.B. --- Mail Box
  - Location of reading
  - Spot Elevation
  - Sanitary Sewer Manhole
  - Storm Drainage Manhole
  - Telephone Manhole
  - Light Pole
  - Service Power Pole
  - Utility Pole
  - Guy Anchor
  - Telephone Pedestal
  - Electric Box
  - Transformer Pad
  - Fiber Optic Junction Box
  - Water Meter
  - Buried Telephone Warning Marker
  - Buried Gas Warning Marker
  - Water Gate Valve
  - Gas Gate Valve
  - Sanitary Sewer Clean Out
  - Fire Hydrant
  - Overhead Utility Lines
  - Overhead Electric Lines
  - Overhead Telephone Lines
  - Buried Reclaimed Water Pipe
  - Buried Water Pipes

- TREE LEGEND**
- C --- CYPRESS
  - CE --- CEDAR TREE
  - CL --- CHERRY LAUREL
  - CP --- CABBAGE PALM (SABAL PALM)
  - LA --- LAUREL OAK (DIAMOND OAK)
  - LI --- LIVE OAK
  - MG --- SOUTHERN MAGNOLIA
  - SL --- SLASH PINE (YELLOW PINE)
  - WP --- WASHINGTON PALM
- NOTE: Trees by nature are irregular in size and shape. Every effort is made to accurately locate trees. The tree size is determined at diameter breast height. The tree location is the center of the tree. This location may be different if located from a different direction. All tree locations should be field checked if critical to design.
- 

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Approved by Dec 3-23-17

MATCH LINE - (See Sheet 3)

**RESIDENCES AT ORANGE LAKE BOUNDARY & TOPOGRAPHIC SURVEY**

REVISIONS			
No.	Date	Description	Drawn

Prepared For: CITY OF NEW PORT RICHEY  
 Last Date of Field Survey: 07/22/2016

SEE SHEET 1 FOR SURVEYOR'S CERTIFICATE

**GeoPoint**  
 Surveying, Inc.

1403 E. 5th Avenue  
 Tampa, Florida 33605  
 www.geopointsurveying.com

Phone: (813) 248-8888  
 Fax: (813) 248-2266  
 Licensed Business Number LB 7765

Drawn: TS    Date: 08/01/16    Data File: RESIDENCES ORANGE LAKE-CH  
 Check: JOW    P.C.: CH    Field Book: 23-2016/44-48  
 Section: 5    Township: 28 S    Range: 18 E    County: Pasco

NOTE: See Sheet 1 for Boundary Survey Information, Legal Description & Surveyor's Notes.

NAVD 88

Sheet No. 2 of 3 Sheets

MATCH LINE - (See Sheet 2)



SCALE: 1" = 20'

LOCAL BENCHMARK #1  
SMGD LB7768  
Elev=9.03'

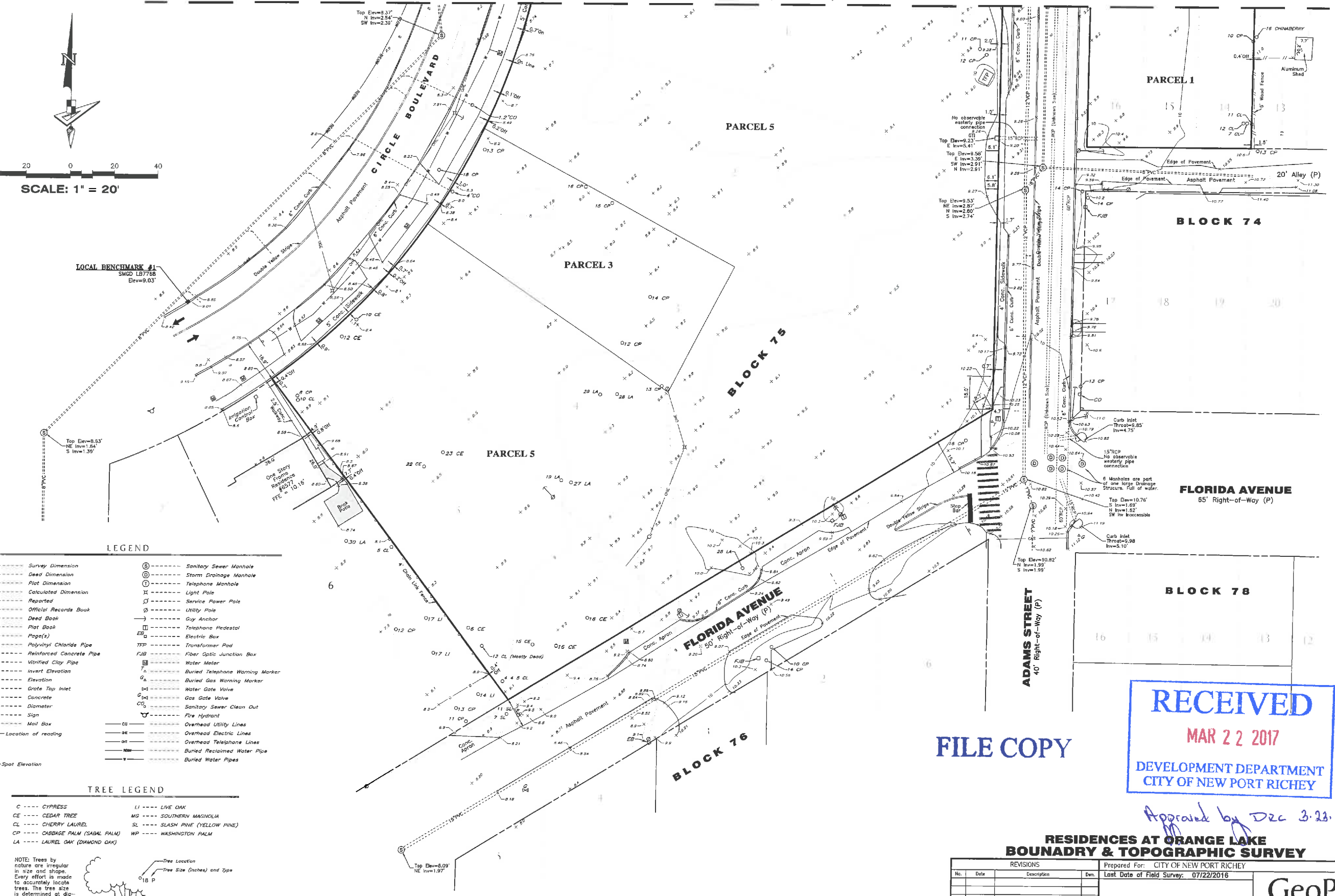
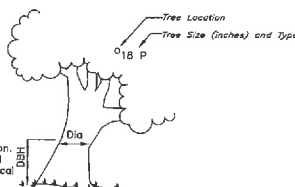
LEGEND

- (S) --- Survey Dimension
- (D) --- Dead Dimension
- (P) --- Plot Dimension
- (C) --- Calculated Dimension
- (R) --- Reported
- O.R. --- Official Records Book
- D.B. --- Deed Book
- P.B. --- Plat Book
- Page(s) --- Page(s)
- PVC --- Polyvinyl Chloride Pipe
- RCP --- Reinforced Concrete Pipe
- VCP --- Vitrified Clay Pipe
- Inv --- Invert Elevation
- Elev --- Elevation
- GTI --- Grate Top Inlet
- Conc. --- Concrete
- Dia. --- Diameter
- MBa --- Mail Box
- Location of reading
- Spot Elevation
- (S) --- Sanitary Sewer Manhole
- (D) --- Storm Drainage Manhole
- (T) --- Telephone Manhole
- (L) --- Light Pole
- (J) --- Service Power Pole
- (U) --- Utility Pole
- (A) --- Guy Anchor
- (E) --- Telephone Pedestal
- (EB) --- Electric Box
- (TFP) --- Transformer Pad
- (FJB) --- Fiber Optic Junction Box
- (W) --- Water Meter
- (T) --- Buried Telephone Warning Marker
- (G) --- Buried Gas Warning Marker
- (WV) --- Water Gate Valve
- (GV) --- Gas Gate Valve
- (CCO) --- Sanitary Sewer Clean Out
- (FH) --- Fire Hydrant
- (OU) --- Overhead Utility Lines
- (OE) --- Overhead Electric Lines
- (OT) --- Overhead Telephone Lines
- (RWP) --- Buried Reclaimed Water Pipe
- (BWP) --- Buried Water Pipes

TREE LEGEND

- C --- CYPRESS
- CE --- CEDAR TREE
- CL --- CHERRY LAUREL
- CP --- CABBAGE PALM (SABAL PALM)
- LA --- LAUREL OAK (DIAMOND OAK)
- LI --- LIVE OAK
- MG --- SOUTHERN MAGNOLIA
- SL --- SLASH PINE (YELLOW PINE)
- WP --- WASHINGTON PALM

NOTE: Trees by nature are irregular in size and shape. Every effort is made to accurately locate trees. The tree size is determined at diameter breast height. The tree location is the center of the tree. This location may be different if located from a different direction. All tree locations should be field checked if critical to design.



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CITY OF NEW PORT RICHEY

Approved by DZC 3.23.17

FILE COPY

RESIDENCES AT ORANGE LAKE BOUNDARY & TOPOGRAPHIC SURVEY

REVISIONS		
No.	Date	Description

Prepared For: CITY OF NEW PORT RICHEY  
Last Date of Field Survey: 07/22/2016

SEE SHEET 1 FOR SURVEYOR'S CERTIFICATE

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Tampa, Florida 33605  
www.geopointsurvey.com

Phone: (813) 248-8888  
Fax: (813) 248-2266  
License: J Business Number 18 7754

Drawn: TS Date: 08/01/16 Data File: RESIDENCES ORANGE LAKE-08  
Check: JMW P.C.: CH Field Book: 23-201644-48  
Section: 5 Township: 26 S Range: 16 E County: Pasco

NOTE: See Sheet 1 for Boundary Survey Information, Legal Description & Surveyor's Notes.

NAVD 88

Sheet No. 3 of 3 Sheets





B r o w n  
D e s i g n  
S t u d i o  
architecture & urban design

Type A (1 bed) and Type B (2 Bed)

Orange Lake  
New Port Richey, FL

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02/27/2017  
3/32"=1'-0"

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B r o w n  
D e s i g n  
S t u d i o  
architecture & urban design

Type C - 2 Bed  
**Orange Lake**  
New Port Richey, FL

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CITY OF NEW PORT RICHEY

02/27/2017  
1/8"=1'-0"

*Approved by DRC 3.23.17*



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D e s i g n  
S t u d i o  
architecture & urban design

Type D- 1 Bed  
Orange Lake  
New Port Richey, FL

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CITY OF NEW PORT RICHEY

02/27/2017  
1/8"=1'-0"

Approved by DRC 3.23.17



**Roof**  
Timberline HD  
Sunset Brick  
Roofing Shingles



**Windows and Accents**  
Windows, Doors, Balcony, Pickets  
SW7034 Status Bronze



**Stucco**  
Sto Corp  
Smooth Finish  
Sto White



**Metal Work**  
Satin Black



**Trim / Body**  
Siding, Corner Boards, Cornice,  
Porches and Bays  
SW7005 Pure White

\*The gutters color will match the color of the building siding.

**FILE COPY**

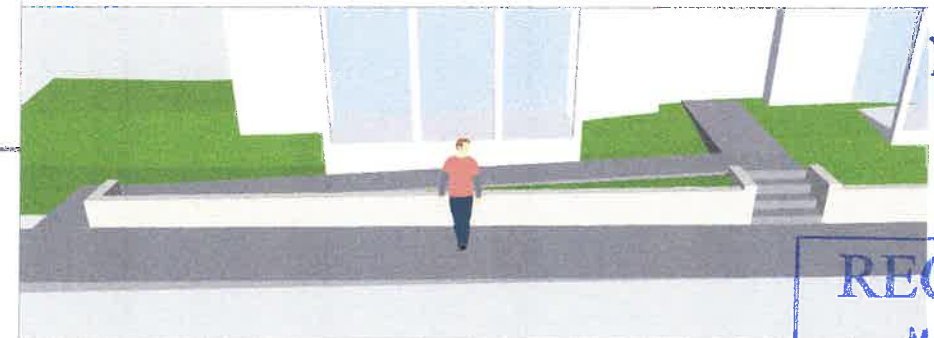
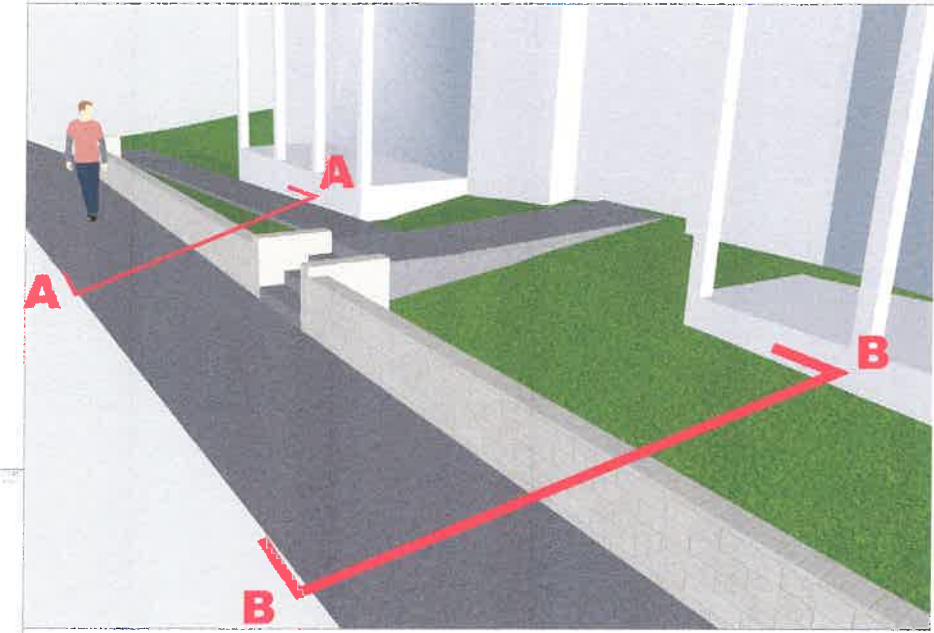
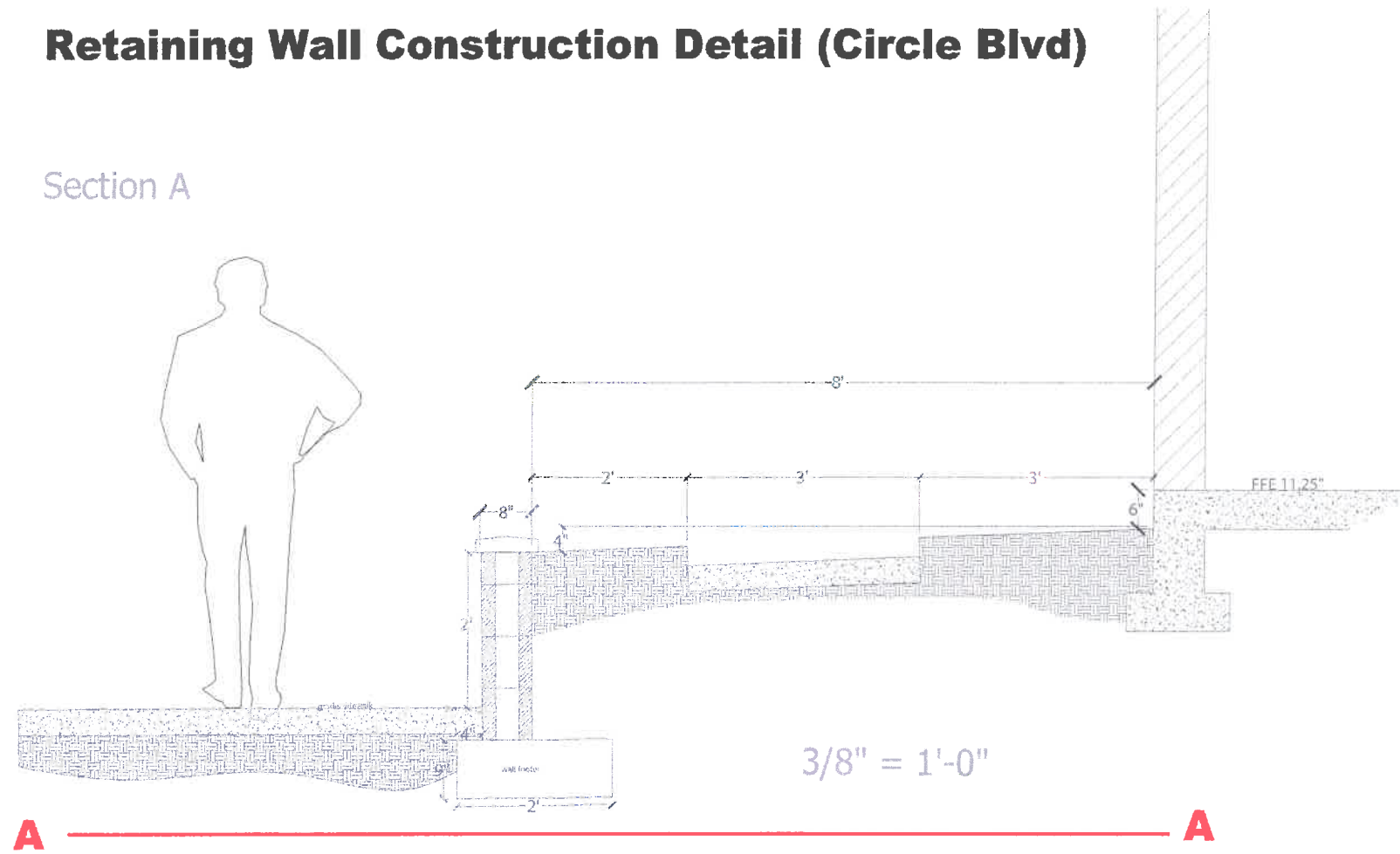


*Approved by Drc 2.23.17*

02.23.2017

# Retaining Wall Construction Detail (Circle Blvd)

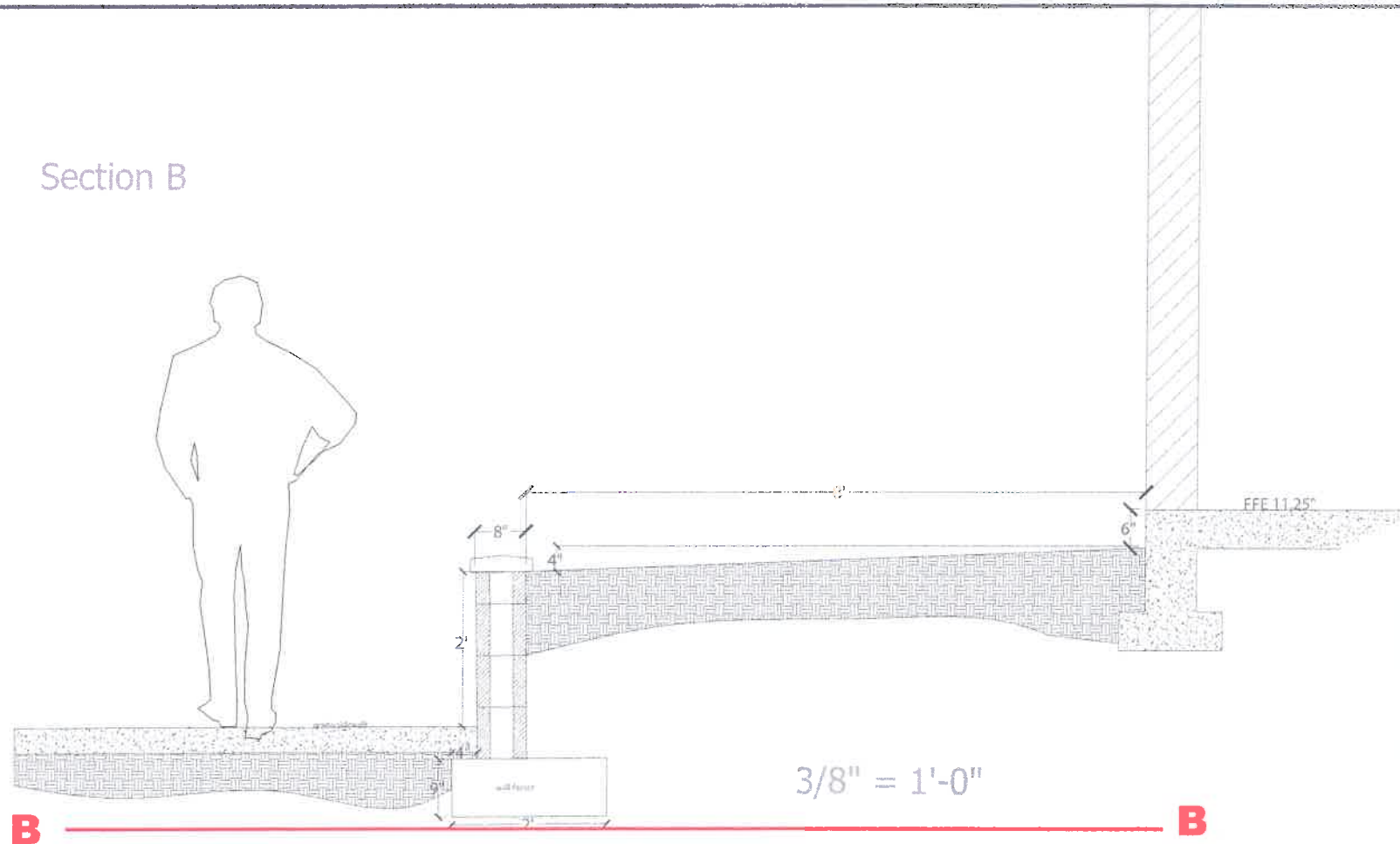
Section A



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Section B



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