

SANCTUARY MANOR OF SEAFOREST

Sanctuary Manor Living Development LLC
5901 Seaside Drive
New Port Richey, FL 34652
727 859-9739
email sjonshep@aol.com

Engineering and Survey
RAMSEY & SONS
R&S Engineering and Construction Corporation
CALB26032
434 Skinner Boulevard
Dunedin, FL 34622
727 409-4639
EMAIL davidc.ramsey@verizon.net



Note: Notice to Sunshine State One-Call and any utility connected with this project prior to construction 800 432-4770 or Sunshine 811

- List of Utilities to Serve Project**
1. City of New Port Richey Water and Sanitary Sewer
 2. Duke Energy
 3. Verizon of Florida
 4. Spectrum Cable and Internet
 5. Clearwater Gas

Project Address
6450 Sea Forest Drive
New Port Richey, FL 34652

Site



Typical Sign
Size is 3.5' in height and 6' wide with a 8" depth

Typical Sign
Size is 3.5' in height and 6' wide with a 8" depth

Site



Project Sign



Project Sign



Index of Sheets

1. Cover Sheet
2. Boundary and Topographic Survey
3. Tree Survey/Erosion Control Plan
4. Site Plan
5. Paving and Drainage Plan
6. Water, Sewer and Gas Plan
7. Drainage and Road Details
8. Surface Drainage Plan and Details
9. NPR Water and Sewer Details
10. NPDES Signature Sheet
11. NPDES Detail Sheet
12. Lift Station Plan
13. Landscape Plan
14. Landscape Details
15. Ground Level Floor Plan
16. First Floor Plan
17. Second Floor Plan
18. Roof Layout Plan
19. Building Elevations

- ⚠ Revised Plans Dated 01-03-19 per City Comments dated January 3, 2019
⚠ Revised Plans Dated 12-05-18 per City Comments dated November 07, 2018
⚠ Revised Plans Dated 10-15-18 per City Comments dated October 10, 2018

Sanctuary Manor of Seaforest

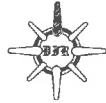


RAMSEY & SONS
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434 Skinner Boulevard
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Cover Sheet

for
San Shepherd, Manager
Sanctuary Manor Living Development, LLC
5901 Seaside Drive
New Port Richey, FL 34652

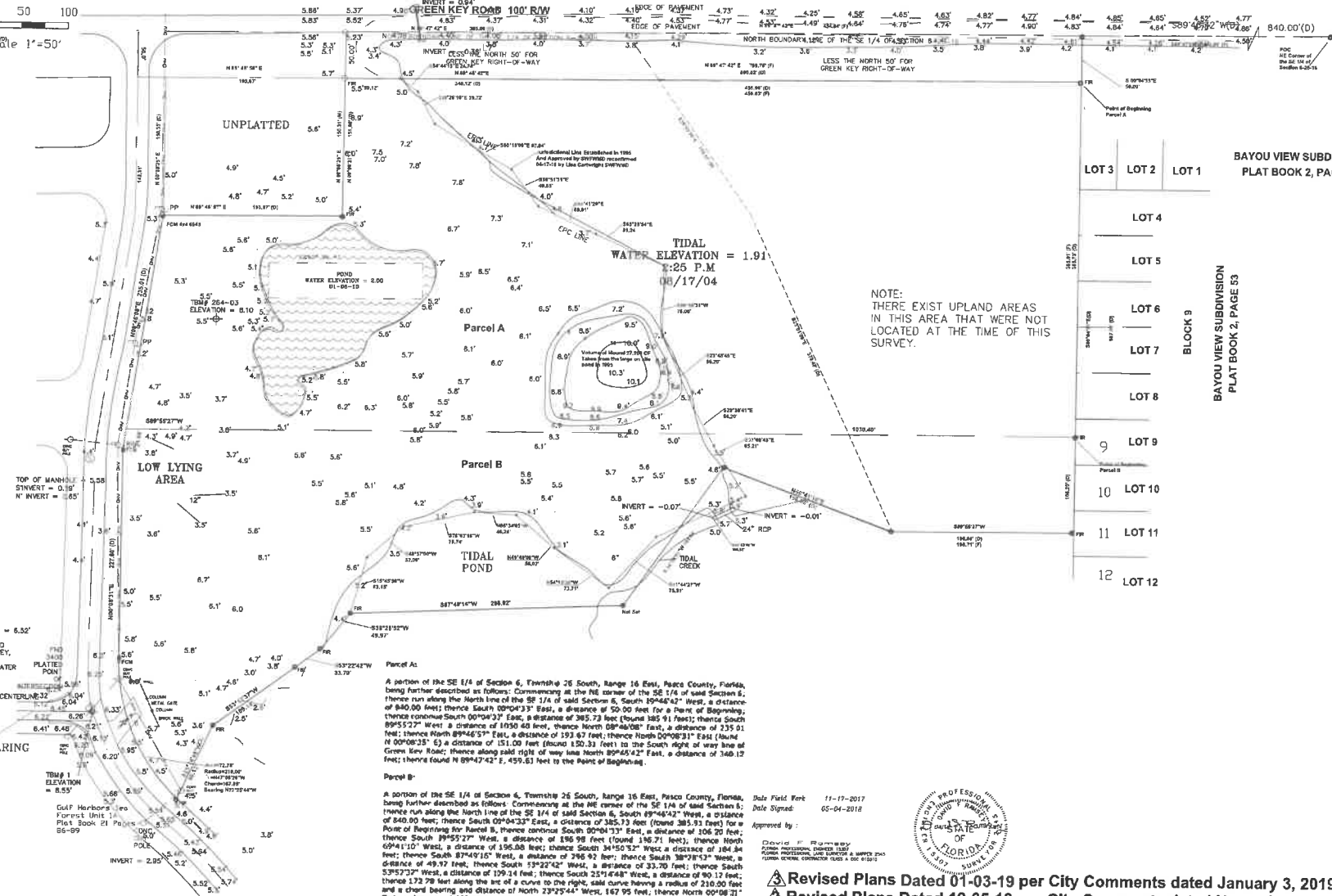
SHEET NO.
1 of 19
JOB NO. 24817



0 50 100
Scale 1"=50'

GENERAL LEGEND:
SIR/C = SET IRON ROD & CAP NO. 2954, FR/C = FOUND IRON ROD & CAP, FP = FOUND IRON PIPE, FPP = FOUND PRINCIPAL PIPE, R/W = RIGHT OF WAY
FCM = FOUND CONCRETE MONUMENT, SHAD = SET AND IRON PILE, PAB = FOUND PAB, PFC = FOUND PFC, PFCP = FOUND PFCP, PFCPP = FOUND PFCPP
PRM = PERMANENT REFERENCE MONUMENT, PABND = PARKER ALUMINUM BAND, (D) = DEED DATA, (C) = CALCULATED DATA
PROP = PROPOSED, CON = CONCRETE, FCM = FOUND CONCRETE, C/P = CONCRETE PILE, C/P = CONCRETE PILE, C/P = CONCRETE PILE
CONC = CONCRETE, C/B = CONCRETE BLOCK, C/B = CONCRETE BLOCK, C/B = CONCRETE BLOCK, C/B = CONCRETE BLOCK
FB = PLAT BOOK OF - OFFICIAL RECORD BOOK, C/C = COVERED CONCRETE, WAS = MASONRY STRUCTURE, B/C = BACK OF CURB, R/T = BUILDING THE
C/W = CONCRETE SIDEWALK, C/W = CONCRETE SIDEWALK, R = PLASTER, FCM = FOUND CONCRETE MONUMENT, S/B = SITE BENCH MARK, E = ELEVATION 5.5' NAVD 1985

SECTIONS 6, TOWNSHIP 26 SOUTH RANGE 16 EAST



BASIS OF BEARING
N89°51'29"W (P)
S89°51'29"E (M)

A portion of the SE 1/4 of Section 6, Township 26 South, Range 16 East, Pasco County, Florida, being further described as follows: Commencing at the NE corner of the SE 1/4 of said Section 6, thence run along the North line of the SE 1/4 of said Section 6, South 89°46'42" West, a distance of 840.00 feet; thence South 00°04'33" East, a distance of 50.00 feet for a Point of Beginning; thence continue South 00°04'33" East, a distance of 385.73 feet (found 385.91 feet); thence South 89°55'27" West, a distance of 108.40 feet; thence North 89°46'42" East, a distance of 235.01 feet; thence North 89°46'57" East, a distance of 193.67 feet; thence North 00°08'31" East (found 00°08'35" East) a distance of 131.00 feet (found 130.33 feet) to the South right of way line of Green Key Road; thence along said right of way line North 89°46'42" East, a distance of 340.12 feet; thence found N 89°47'42" E, 459.63 feet to the Point of Beginning.

A portion of the SE 1/4 of Section 6, Township 26 South, Range 16 East, Pasco County, Florida, being further described as follows: Commencing at the NE corner of the SE 1/4 of said Section 6, thence run along the North line of the SE 1/4 of said Section 6, South 89°46'42" West, a distance of 840.00 feet; thence South 00°04'33" East, a distance of 385.73 feet (found 385.91 feet) for a Point of Beginning for Parcel B, thence continue South 00°04'33" East, a distance of 108.40 feet; thence North 89°46'42" East, a distance of 235.01 feet; thence North 89°46'57" East, a distance of 193.67 feet; thence North 00°08'31" East (found 00°08'35" East) a distance of 131.00 feet (found 130.33 feet) to the South right of way line of Green Key Road; thence along said right of way line North 89°46'42" East, a distance of 340.12 feet; thence found N 89°47'42" E, 459.63 feet to the Point of Beginning.

Date Field Work 11-17-2017
Date Signed 05-04-2018
Approved by: David R. Ramsey
Surveyor License No. 12345
Florida State Board of Survey
Professional Seal of David R. Ramsey, Surveyor
No. 12345, State of Florida

- Revised Plans Dated 01-03-19 per City Comments dated January 3, 2019
- Revised Plans Dated 12-05-18 per City Comments dated November 07, 2018
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LOT 3 LOT 2 LOT 1
LOT 4
LOT 5
LOT 6
LOT 7
LOT 8
LOT 9
LOT 10
LOT 11
LOT 12

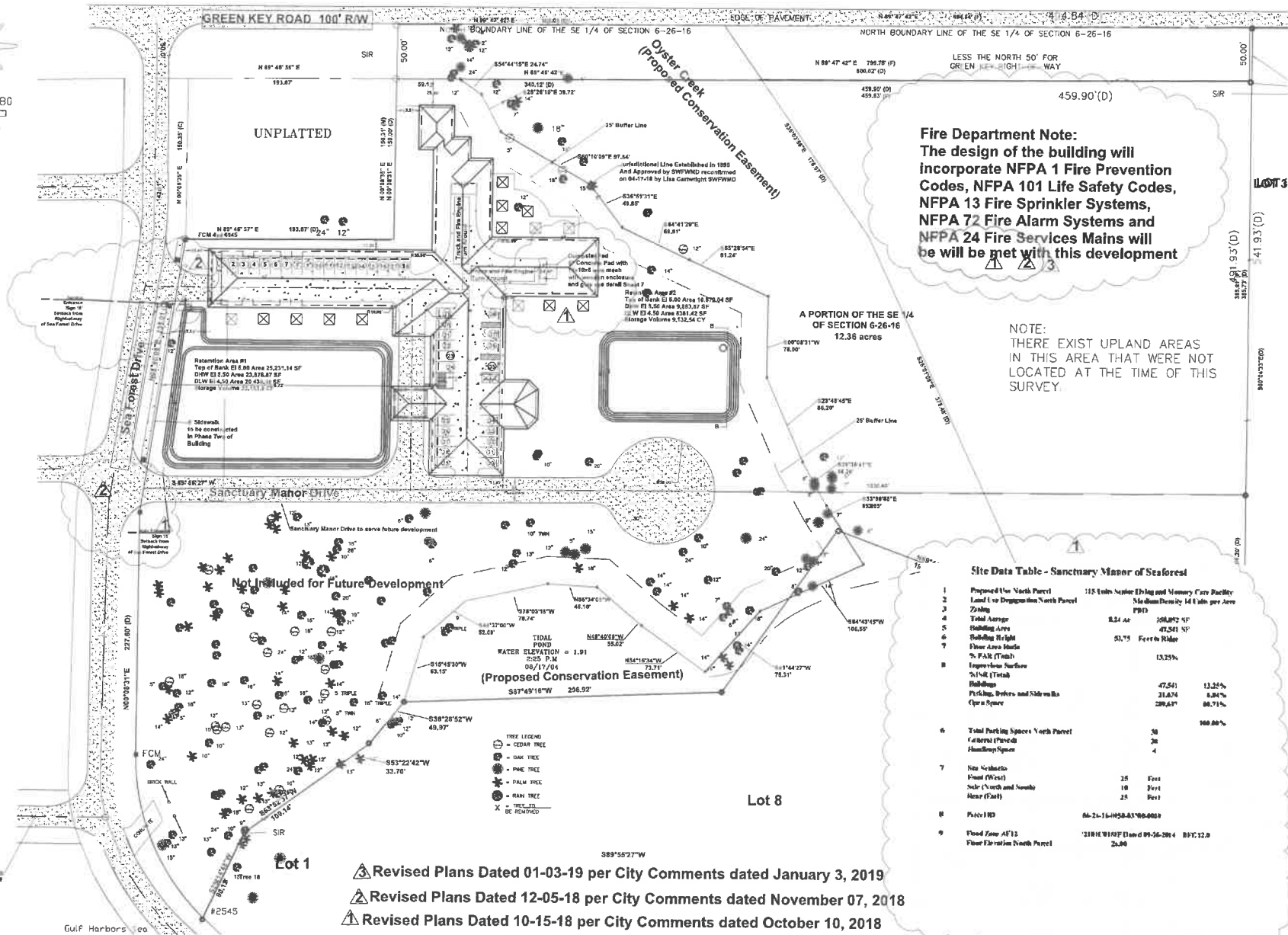
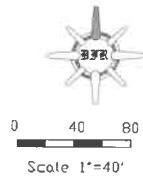
BAYOU VIEW SUBDIVISION
PLAT BOOK 2, PAGE 53

BLOCK 9
BAYOU VIEW SUBDIVISION
PLAT BOOK 2, PAGE 53

Sanctuary Manor of Seaforest
334 Seaforest Boulevard
Seaforest, FL 34608
Phone: 813-444-1111
Fax: 813-444-1112
Email: info@seaforest.com

Boundary and Topographic Survey
Rayon Shepherd, Manager
Sanctuary Manor of Seaforest
334 Seaforest Boulevard
Seaforest, FL 34608
Phone: 813-444-1111
Fax: 813-444-1112
Email: info@seaforest.com

SHEET:
2 of 19
JOB NO. 2-0817

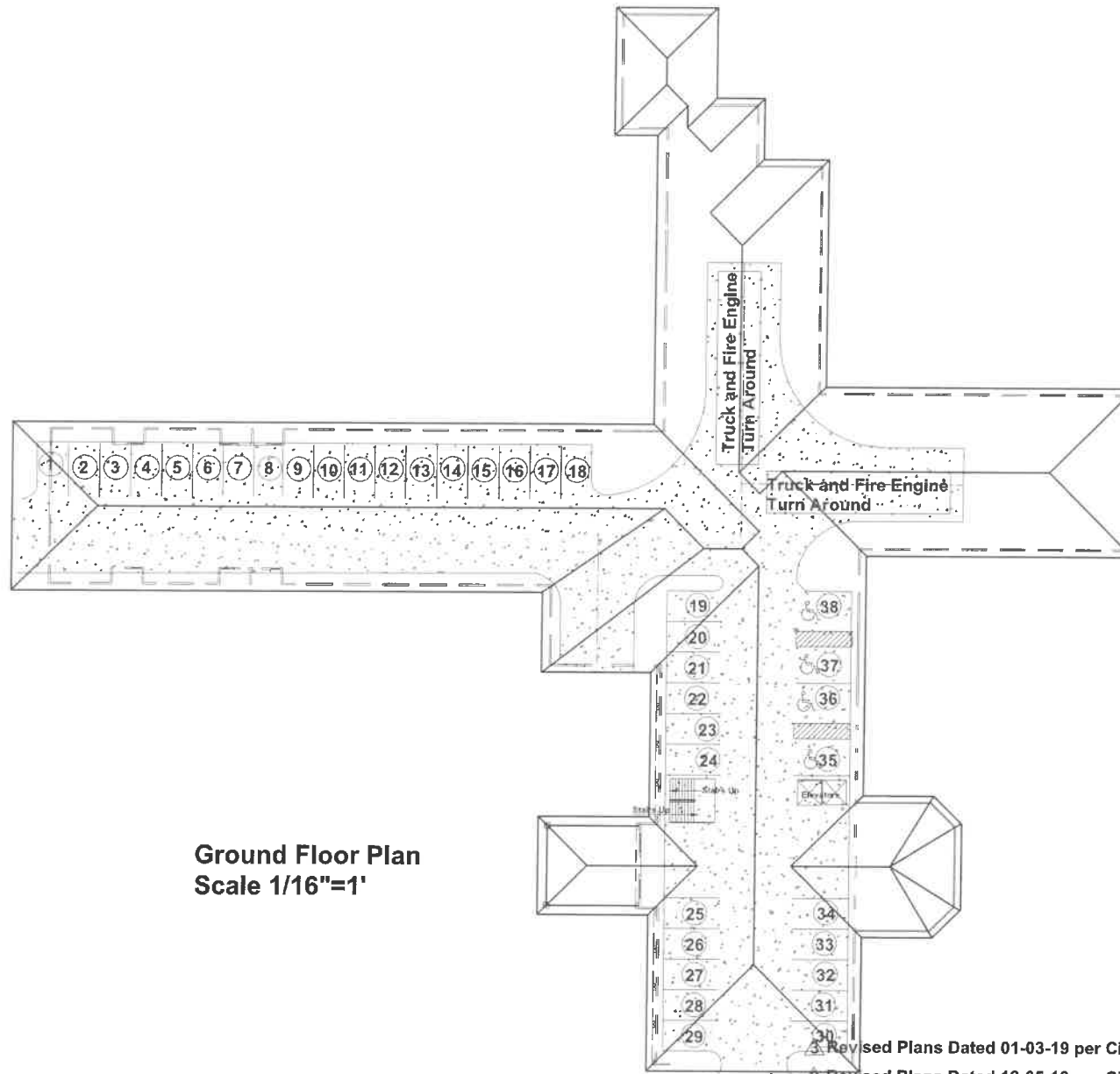


Sanctuary Manor of Seaforest

Site Plan

for Don Shepherd, Manager
 5801 Seaside Drive
 New Port Richey, FL 34652

SHT. NO.
4 of 18
JOB NO. 2-0817



Ground Floor Plan
Scale 1/16"=1'

1. SAND FILL SHALL BE CLEAN & COMPACTED TO 98% STANDARD PROCTOR MAXIMUM DRY DENSITY.
 2. CONCRETE TO BE PLACED & CURED IN ACCORDANCE WITH THE LATEST AGI SPECIFICATIONS.
 3. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
 4. REINFORCING STEEL SHALL BE CONTINUOUS W/ 18" MINIMUM LAPS AND TIED SECURELY.
 5. REINFORCING STEEL SHALL HAVE THE FOLLOWING CONCRETE COVER: EXPOSED TO EARTH 3", EXPOSED TO WEATHER 2", NOT EXPOSED TO WEATHER 1".
 6. CONTRACTOR TO VERIFY SOIL BEARING CAPACITY IS IN ACCORDANCE WITH THESE DRAWINGS.
1. ALL LOAD-BEARING CONCRETE/MASONRY UNITS SHALL BE TYPE I UNITS IN CONFORMANCE W/ ASTM C 90.
 2. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60 & HAVE 24" MIN. OVERLAPS.
 3. TYPE "M" MORTAR SHALL BE USED FOR ALL CMU WALLS IN CONFORMANCE W/ ASTM C 270.

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1. Revised Plans Dated 10-15-18 per City Comments dated October 10, 2018

Sanctuary Manor at Seaforest 454 Skinner Boulevard Jacksonville, FL 32208 904.444.1111		SHEET NO. 15 of 19 JOB NO. 2-0817
Ground Level Floor Plan Joe Sheppard, Manager Sanctuary Manor Living Development, LLC 1000 Basilio Drive Jacksonville, FL 32211	R. & S. Engineering and Construction Corporation 1000 Basilio Drive Jacksonville, FL 32211 904.444.1111	SHEET NO. 15 of 19 JOB NO. 2-0817

22 Rooms Phase One

17 Rooms Phase Two

14 Rooms Phase Two

7 Rooms Phase Two

Second Floor Plan
Scale 1/16"=1'

- ▲ Revised Plans Dated 01-03-19 per City Comments dated January 3, 2019
- ▲ Revised Plans Dated 12-05-18 per City Comments dated November 07, 2018
- ▲ Revised Plans Dated 10-15-18 per City Comments dated October 10, 2018

Sanctuary Manor of Seaforest 434 Seaforest Boulevard Doral, FL 33154 Tel: 409-4489		SHEET NO. 17 of 19 JOB NO. 2-4817
Second Floor Plan Jon Shepard, Manager Sanctuary Manor Living Development, LLC 1100 E. 15th Ave., Suite 110 Fort Lauderdale, FL 33316		DATE: 01-17-19 SCALE: None CHECKED: DFB DRAWN: DFB APPROVED: 01-13-19 APPROVED: 01-13-19 APPROVED: 01-13-19