



**CITY COUNCIL REGULAR MEETING**  
**CITY OF NEW PORT RICHEY**  
**NEW PORT RICHEY CITY HALL COUNCIL CHAMBERS**  
**5919 MAIN STREET, NEW PORT RICHEY, FLORIDA**  
**May 2, 2017**  
**7:00 PM**

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**AGENDA**

ANY PERSON DESIRING TO APPEAL ANY DECISION MADE BY THE CITY COUNCIL, WITH RESPECT TO ANY MATTER CONSIDERED AT ANY MEETING OR HEARING, WILL NEED A RECORD OF THE PROCEEDINGS AND MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THE LAW DOES NOT REQUIRE THE CITY CLERK TO TRANSCRIBE VERBATIM MINUTES; THEREFORE, THE APPLICANT MUST MAKE THE NECESSARY ARRANGEMENTS WITH A PRIVATE REPORTER (OR PRIVATE REPORTING FIRM) AND BEAR THE RESULTING EXPENSE (F.S.286.0105)

**ORDER OF**  
**BUSINESS**

1. Call to Order – Roll Call
2. Pledge of Allegiance
3. Moment of Silence
4. Approval of April 18, 2017 Regular Meeting Minutes Page 3
5. Library Advisory Board Report
6. Proclamation - Women's Lung Health Week Page 9
7. Proclamation - Older Americans Month Page 10
8. Proclamation - Kids to Parks Day Page 11
9. Vox Pop for Items Not Listed on the Agenda or Listed on Consent Agenda
10. Consent Agenda
  - a. Police Pension Board Special Meeting Minutes - March 22, 2017 Page 12
  - b. Parks and Recreation Advisory Board Minutes - March 14, 2017 Page 18
  - c. Purchases/Payments for City Council Approval Page 21

#### 11. Public Reading of Ordinances

- |    |  |         |
|----|--|---------|
| a. | First Reading, Ordinance No. 2017-2109: Rezoning - 6571 Circle Boulevard & Ordinance No. 2017-2110: Vacation of a Portion of Central Avenue Right-of-Way | Page 23 |
| b. | Second Reading, Ordinance No. 2017-2111: Refuse Collection Services  | Page 96 |

#### 12. Business Items

- |    |   |          |
|----|---|----------|
| a. | Recommendation of Firm for Annexation and Feasibility Strategy Study RFQ 17-003 | Page 100 |
| b. | First Amendment to the Lease with West Pasco Chamber of Commerce                | Page 105 |
| c. | 2016/2017 Roadway Striping Project Close Out                                    | Page 110 |
| d. | 2016 Stormwater Lining Project Close Out  | Page 117 |
| e. | Recreation and Aquatic Center - 90 Days of Summer Membership Sale               | Page 124 |
| f. | Board Re-Appointment: Louis Parrillo, Land Development Review Board             | Page 126 |
| g. | Three Minute Report: Economic Development Department                            |          |

#### 13. Communications

#### 14. Adjournment

Agendas may be viewed on the City's website: [www.citynpr.org](http://www.citynpr.org). This meeting is open to the public. In accordance with the Americans with Disabilities Act of 1990 and Section 286.26, Florida Statutes, all persons with disabilities needing special accommodations to participate in this meeting should contact the City Clerk, 727-853-1024, not later than four days prior to said proceeding.



# NEW PORT RICHEY

5919 MAIN STREET . NEW PORT RICHEY, FL 34652 . 727.853.1016

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**TO:** City of New Port Richey City Council  
**FROM:** Judy Meyers, City Clerk  
**DATE:** 5/2/2017  
**RE:** Approval of April 18, 2017 Regular Meeting Minutes

**REQUEST:**

The request is for City Council to approve the minutes from the April 18, 2017 regular meeting.

**DISCUSSION:**

City Council conducted its regularly scheduled meeting on April 18, 2017. The minutes from that meeting are attached for Council's review and approval.

**RECOMMENDATION:**

Staff recommends City Council approve the minutes from the April 18, 2017 regular meeting as submitted.

**BUDGET/FISCAL IMPACT:**

No funding is required for this item.

**ATTACHMENTS:**

Description	Type
□ April 18, 2017 Regular Meeting Minutes	Backup Material



**MINUTES OF THE CITY COUNCIL REGULAR MEETING**  
**CITY OF NEW PORT RICHEY**

**NEW PORT RICHEY CITY HALL COUNCIL CHAMBERS**

**5919 MAIN STREET, NEW PORT RICHEY, FLORIDA**

**April 18, 2017**

**7:00 PM**

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**ORDER OF**  
**BUSINESS**

**1. Call to Order – Roll Call**

The meeting was called to order by Mayor Rob Marlowe at 7:00 pm. Those in attendance were, Deputy Mayor Bill Phillips, Councilwoman Judy DeBella Thomas, Councilman Jeff Starkey and Councilman Chopper Davis.

Also in attendance were City Manager Debbie Manns, City Attorney Timothy Driscoll, City Clerk Judy Meyers, Chief of Police Kim Bogart, Finance Director Crystal Feast, Development Director Lisa Fierce, Fire Chief Chris Fitch, Economic Development Director Mario Iezzoni, Public Works Director Robert Rivera, Parks and Recreation Director Elaine Smith, Technology Solutions Director Bryan Weed and Human Resources Manager Bernie Wharran.

**2 Pledge of Allegiance**

**3 Moment of Silence**

**4 Approval of April 4, 2017 Regular Meeting Minutes**

Motion was made to approve the minutes as presented.

Motion made by Jeff Starkey and seconded by Chopper Davis. The Motion Passed. 5-0. Ayes: Davis, DeBella Thomas, Marlowe, Phillips, Starkey

**5 Oath of Office for Mayor**

Mayor Rob Marlowe took the oath of office for his second term.

**6 Appointment of Deputy Mayor**

Councilman Davis moved that Deputy Mayor Phillips remain serving as Deputy Mayor however Councilman Phillips declined the nomination due to his work schedule. Councilman Phillips then



made a motion to appoint Councilman Jeff Starkey to serve as Deputy Mayor. Councilman Starkey accepted the nomination.

Motion made by Bill Phillips and seconded by Chopper Davis. The Motion Passed. 5-0. Ayes: Davis, DeBella Thomas, Marlowe, Phillips, Starkey

- 7 Introduction of New Police Officer Ryan Warner

- 8 Proclamation - PowerTalk 21 Day

Jeannine Timmins from MADD accepted the parchment from Mayor Marlowe.

- 9 Proclamation - National Medical Laboratory Professionals Week

Jose Villacis from Physician's Stat Lab accepted the parchment from Mayor Marlowe.

- 10 Proclamation - Pay It Forward Day

Christin Hamacher from Home Care Now accepted the parchment from Mayor Marlowe.

- 11 Proclamation - Beta Sigma Phi Day

Mayor Marlowe read the proclamation by title only.

- 12 Proclamation - Volunteer Recognition Day

Mayor Marlowe read the proclamation by title only.

- 13 Proclamation - National Volunteer Week and CARES Volunteer Recognition

Mayor Marlowe read the proclamation by title only.

- 14 Vox Pop for Items Not Listed on the Agenda or Listed on Consent Agenda

Mayor Marlowe opened the floor for public comment. Drew Bochetti came forward to ask that landlords be held accountable for water service. He also stated that he called 911 for a hit and run in the city and no one responded. He stated the city did not have a record of his call. City Manager Manns stated that she would look into both matters brought forth by Mr. Bochetti. With no one else coming forward for public comment, Mayor Marlowe closed Vox Pop.

- 15 Consent Agenda

Motion was made to accept the Consent Agenda.

Motion made by Chopper Davis and seconded by Judy DeBella Thomas. The Motion Passed. 5-0. Ayes: Davis, DeBella Thomas, Marlowe, Phillips, Starkey

- a Parks and Recreation Advisory Board Minutes - February 2017

- b Purchases/Payments for City Council Approval

- 16 Business Items

- a Consideration of Appointments to Intergovernmental Committees

City Council agreed to retain the same Intergovernmental Committee schedule of appointments as the previous year. The appointments are as follows:

Mayor Marlowe - Tampa Bay Water (Motion: JDBT2nd: CD)

Deputy Mayor Starkey - Pasco County Metropolitan Planning Organization (Motion: CD 2nd:

JDBT)

Councilman Phillips - Tampa Bay Regional Planning Council (Motion: JS 2nd: CD)

Councilwoman DeBella Thomas - Suncoast League of Cities (Motion: BP 2nd: CD)

Councilman Davis - Pasco County Tourist Development Council and alternate to the Pasco County Metropolitan Planning Organization (Motion: JS 2nd: JDBT)

Motion made by Jeff Starkey and seconded by Judy DeBella Thomas. The Motion Passed. 5-0.

Ayes: Davis, DeBella Thomas, Marlowe, Phillips, Starkey

b Quarterly Cash & Investment Report

City Manager Manns introduced Finance Director Crystal Feast who then made a presentation to Council. She stated that as part of the city's investment policy a quarterly cash and investment report is to be prepared and presented to Council for their review. Councilman Phillips asked about the net savings and if the City were to use those savings to borrow further for five to ten years how much could the City borrow with the net savings. He stated that the City was comfortable paying higher interest rates in the past but now we have savings. He stated he would like to have revenue streams identified before the strategic planning work session as there is a possibility of having to move some projects up in priority without ad valorem, Penny for Pasco or Local Option Gas Tax dollars. Mayor Marlowe asked where the City is on the audit. Ms. Feast stated that the process is ongoing and the projected timeline is to have the audit complete by the end of May.

c 2015 Downtown Landscaping Improvements Project - ITB No. 17-006 Bid Award

City Manager Manns introduced the item to Council. She stated that Council is asked to review a bid award for the Downtown Landscaping Project in the amount of \$359,065.25 to Morelli Landscaping. Public Works Director Robert Rivera then made a brief presentation to Council. He stated the main elements involve the replanting of the Drake elms, center landscape medians and landscaping at City Hall. He stated that Penny for Paso funds would be used for this project.

Upon opening the floor to public comment, no one came forward therefore Mayor Marlowe returned the floor to Council. Councilman Davis asked if Morelli Landscaping did the US19 medians. Councilwoman DeBella Thomas asked what is a Chinese palm as she is not a fan of palm trees. She also asked if it blooms. Mr. Rivera stated that it is standard palm tree and there is no bloom but it will stay green year round. It is a slow growing tree and cold tolerant. It will give frontage back to the storefronts and provide for awnings. Councilman Phillips stated that this has been talked about for three years. He stated that Council has discussed eliminating some tree grates and how it is sunny with no awnings. He stated that the Drake elms are dirty but at the end of the day we have to do something. Mayor Marlowe stated he is not a fan of palms either. Deputy Mayor Starkey stated that the City is giving Morelli a lot of money after we just gave them a lot of money for the US19 medians. He stated the perennial peanuts are dead and look worse now than when he brought it up last month. Councilman Davis agreed that the US19 medians look terrible. He stated he would like to tie phase one and two together. Mayor Marlowe stated he was just at the Tampa Bay Water Board meeting and that we are in drought conditions. Councilman Phillips asked about a timeline for phase two. He asked at what point will we be blocking US19 to plant. Mr. Rivera stated a pre-construction meeting is later this week. He stated that US19 phase two is ready to go and should be completed in 120 days. Councilman Davis stated he did not want to start phase two while we are in drought conditions. Mr. Rivera stated the type of plants chosen were chosen based on limited watering conditions. Councilman Phillips suggested work start July 1st and have the contractor sign a letter acknowledging the points made by Council and that they understand what the expectations are. Councilwoman DeBella Thomas stated that when you are planting and transplanting they need to be soaked so they will take and we are now entering into the driest season. She stated we should wait. Motion was made to approve the item as presented.

Motion made by Chopper Davis and seconded by Bill Phillips. The Motion Passed. 4-1. Ayes:

Davis, Marlowe, Phillips, Starkey Nays: DeBella Thomas

d 2015 Marine Parkway Multi-Use Path Project Close-Out

City Manager Manns introduced the item to Council. She stated that the agenda item was twofold. First to request a deductive change order in the amount of \$14,804.50 and then to authorize a final pay request in the amount of \$154,841.37. Upon opening the floor to public comment, no one came forward therefore Mayor Marlowe returned the floor to Council. Motion was made to approve the item as presented.

Motion made by Chopper Davis and seconded by Bill Phillips. The Motion Passed. 5-0. Ayes: Davis, DeBella Thomas, Marlowe, Phillips, Starkey

e Resolution No. 2017-18: Supporting Temporary Resolution No. 12914 Regarding the Removal of the Federal Tax Exemption on Interest Earned from Municipal Bonds

City Attorney Driscoll read resolution by title only. City Manager Manns introduced the item to Council. She stated that the purpose of this agenda is to influence deliberations going on to repeal the tax exemption on municipal bonds. The tax exemption allows the City to enhance public facilities. City Manager Manns asked Council to formally declare their opposition to this legislation. Upon opening the floor to public comment, no one came forward therefore Mayor Marlowe returned the floor to Council. Motion was made to approve the item as presented.

Motion made by Bill Phillips and seconded by Chopper Davis. The Motion Passed. 5-0. Ayes: Davis, DeBella Thomas, Marlowe, Phillips, Starkey

f Cotee River Seafest - Revised Site Plan

City Manager Manns introduced the item to Council. She stated that this item was approved by Council at their meeting on April 4, 2017 and was back before them this evening with a revised site plan as New Port Richey Main Street is now requesting a partial street closure. Upon opening the floor to public comment, no one came forward therefore Mayor Marlowe returned the floor to Council. Deputy Mayor Starkey asked about the safety of the cars traveling down the alley and Mayor Marlowe replied that neither he nor any of the businesses affected have had any traffic issues. Councilman Phillips asked if this was the only change as it appeared there were more vendors and boats on the revised map. City Manager replied that yes the street closure is the only change. Motion was made to approve the item as presented.

Motion made by Chopper Davis and seconded by Judy DeBella Thomas. The Motion Passed. 5-0. Ayes: Davis, DeBella Thomas, Marlowe, Phillips, Starkey

g Three Minute Report: Parks and Recreation

17 Communications

Mayor Marlowe stated he is thrilled to be back as mayor. He stated that there are challenges such as downtown parking and residential streets. He stated we need to look at annexation especially near Southgate. He suggested working with Port Richey to see what can be annexed and hold a joint work session. He stated he received a phone call from a resident near Massachusetts who stated that he is a City of New Port Richey water customer and proceeded to ask when he can get sewer and annexed into the city. He stated that traffic enforcement is a priority especially regarding red light cameras as the contract is coming up for renewal. He was pleased to see enforcement by the Post Office last weekend. He suggested looking at traffic enforcement as its own section in the police department and that it should be looked at as we begin budget season.

Councilman Phillips stated the movies in the park continues to grow. Next time the Environmental

Committee comes to talk about Loquat Festival we need to find a larger home as Frances Avenue Park was overrun. He wanted to thank Elaine Smith for the special meet and greet with Skylar Diggins. He thanked the street parade group who put together the Chasco float and suggested putting the group back into the Parks and Recreation Department as the the float displayed city pride instead of just passing out beads. He stated he would not be in attendance for the Kids to Parks Day and he would be attending the May 2, 2017 Council meeting via Skype. He congratulated Mayor Marlowe on his re-election. He stated he just let the negative mailers pass as they were full of misinformation. He would like by the end of the week to understand the set up and agenda for work session next Tuesday. He stated we need to follow what the state legislature is proposing in regards to the filing of financial details. Finally, he stated that during the election the other candidate did not have to show his property address but in his mailers he put his address. If there was liability back to the city he wanted to make sure that all papers were filed correctly. He wanted clarification on when Mayor is elected. He stated it should have been last year and not this year. He wanted to make sure we are in compliance with our Charter.

Councilwoman DeBella Thomas congratulated Mayor Marlowe on his re-election and Councilman Starkey on his deputy mayor appointment. She stated that she has speaking engagements all over West Pasco and it is exciting to see the places she goes where the people are deciding where to go for lunch since there are so many restaurants in the downtown area. She stated that as far up as Hudson there are people talking about our city. It is exciting to hear people talk about New Port Richey.

Deputy Mayor Starkey congratulated Mayor Marlowe on his re-election. He agreed with the Mayor's comments that we do have issues but we are working on downtown parking. He stated there is a lot of positive buzz about the city and the downtown area.

Councilman Davis congratulated Mayor Marlowe on his re-election. He stated that he has brought up numerous times the ALICE report and how the percentage of residents in need has dropped from 65% to only 63% and that we need to look at residents and see how to help.

18 Adjournment

There being no further business to consider, upon proper motion, the meeting adjourned at 8:20 pm.

(signed) \_\_\_\_\_  
Judy Meyers, City Clerk

Approved: \_\_\_\_\_ (date)

Initialed: \_\_\_\_\_



Office of the Mayor

City Of New Port Richey

# Proclamation

**WHEREAS**, every five minutes, a woman in the United States is told she has lung cancer; and

**WHEREAS**, lung cancer is the number one cancer killer of women in the United States; and

**WHEREAS**, the death rate of women who suffer from this devastating disease has doubled over the last thirty-seven years; and

**WHEREAS**, advocacy and increased awareness will result in more and better treatment for women with lung cancer and other lung diseases and will ultimately save lives; and

**WHEREAS**, LUNG FORCE is the national movement led by the American Lung Association, with the mission of making lung cancer history by uniting women to stand together with a collective strength and determination to lead the fight against lung cancer and for lung health; and

**NOW, THEREFORE**, I, Rob Marlowe, Mayor of the City of New Port Richey, do hereby proclaim the second full week in May as

## Women's Lung Health Week

in the City of New Port Richey, and I encourage all residents to learn more about the detection and treatment of lung cancer.



*In witness whereof I have hereunto set my  
hand and caused this seal to be affixed.*

ATTEST: \_\_\_\_\_

DATE: \_\_\_\_\_



Office of the Mayor

## City Of New Port Richey

# Proclamation

**WHEREAS**, New Port Richey includes a thriving community of older Americans who deserve recognition for their contributions and sacrifices to ensure a better life for future generations; and

**WHEREAS**, the City of New Port Richey is committed to helping all individuals live longer, healthier lives in the communities of their choice for as long as possible; and

**WHEREAS**, since 1965, the Older Americans Act has provided services that help older adults remain healthy and independent by complementing existing medical and health care systems, helping prevent hospital readmissions, and supporting some of life's most basic functions, such as bathing or preparing meals; and

**WHEREAS**, these programs also support family caregivers, address issues of exploitation, neglect and abuse of older adults, and adapt services to the needs of Native American elders; and

**WHEREAS**, the City of New Port Richey recognizes the value of community engagement and service in helping older adults remain healthy and active while giving back to others; and

**WHEREAS**, our community can provide opportunities to enrich the lives of individuals of ages by promoting and engaging in activity, wellness and social inclusion, emphasizing home and community based services that support independent living, and ensuring community members of all ages benefit from the contributions and experience of older adults.

**NOW, THEREFORE**, I, Rob Marlowe, Mayor of the City of New Port Richey, do hereby proclaim the month of May 2017 as

## Older Americans Month

in the City of New Port Richey, and I encourage all residents to take time this month to celebrate older adults and the people who serve and support them as powerful and vital individuals who greatly contribute to our community.



*In witness whereof I have hereunto set my hand and caused this seal to be affixed.*

ATTEST: \_\_\_\_\_

DATE: \_\_\_\_\_





Office of the Mayor

City Of New Port Richey

# Proclamation

**WHEREAS**, Kids to Parks Day was created by the National Park Trust in 2011 to promote healthy outdoor recreation and environmental stewardship, empower young people, and encourage families to get outdoors and visit the parks and public land of the United States, and

**WHEREAS**, Kids to Parks Day encourages children to lead a more active lifestyle to combat the issues of childhood obesity, diabetes and hypertension; and

**WHEREAS**, Kids to Parks Day is an opportunity for families to take a break from their busy lives and come together for a day of active, wholesome fun, and

**WHEREAS**, Kids to Parks Day is open to all children and adults across the country to encourage a large and diverse group of participants; and

**WHEREAS**, Kids to Parks Day helps to foster an appreciation for nature and the outdoors in young people through a safe setting for independent play and healthy adventure in neighborhood parks; and

**WHEREAS**, the City of New Port Richey will be hosting Kids to Parks Day on Saturday, May 6, 2017 from 9:00 a.m. until 11:00 a.m. at the James E. Grey Preserve with a nature walk, free healthy snacks and other give-a-ways.

**NOW, THEREFORE**, I, Rob Marlowe, Mayor of the City of New Port Richey do hereby proclaim, Saturday, May 6, 2017 as

## Kids to Parks Day

In the City of New Port Richey, and urge all citizens to celebrate Kids to Parks Day by attending the event at the James E. Grey Preserve and to recognize the importance of outdoor recreation and the preservation of open spaces to the health and education of the young people in our community.



*In witness whereof I have hereunto set my hand and caused this seal to be affixed.*

ATTEST: \_\_\_\_\_

DATE: \_\_\_\_\_



# NEW PORT RICHEY

5919 MAIN STREET . NEW PORT RICHEY, FL 34652 . 727.853.1016

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**TO:** City of New Port Richey City Council  
**FROM:** Judy Meyers, City Clerk  
**DATE:** 5/2/2017  
**RE:** Police Pension Board Special Meeting Minutes - March 22, 2017

**REQUEST:**

The request is for City Council to review the minutes from the special meeting of the Police Pension Board on March 22, 2017.

**DISCUSSION:**

The Police Pension Board conducted a special meeting for an initial disability hearing for former officer Nicholas Kaller on March 22, 2017. The minutes from that meeting are attached for City Council's review.

**RECOMMENDATION:**

There is no formal action required by City Council for this item.

**BUDGET/FISCAL IMPACT:**

N/A

**ATTACHMENTS:**

	Description	Type
▣	Police Pension Board Special Meeting Minutes - March 22, 2017	Backup Material





# NEW PORT RICHEY POLICE PENSION SYSTEM



## Minutes

Of a special meeting of the Board of Trustees  
Meeting at 6739 Adams Street, Police Station,  
New Port Richey, Florida 34652  
Wednesday, the 22<sup>nd</sup> day of March 2017, at 10:00 A.M.

The meeting was called to order by Mr. Pratt at 10:22 AM.

Trustees Present:

Mr. Glen Pratt  
Mr. Edward Beckman  
Mr. William Bennett  
Sergeant Christopher Trapnell

Trustee monitoring by phone:

Officer Steve Wade

Consultant(s) Present:

Mr. Lee Dehner

Administrator:

Mr. T. Scott Baker

Other(s) Present:

Mr. Nicholas Kaller  
Ms. Jaclyn Kaller  
Mr. Jason Fox  
Ms. Tonya Oliver  
Ms. Jeanine Shaffer

### **ITEM #1 -- Open Public Comment**

There was no public comment.

### **ITEM #2 -- Initial Disability Hearing – Nicholas Kaller**

Mr. Dehner said he was going to discuss the procedures to be followed, the sustenance of plan provisions pursuant to which the claim was filed, and the three principals of general law that apply in consideration of this matter. He said first the proceeding is being conducted under the plan's claim's procedure, Rule 14, with this being the Initial Hearing

phase, designed to be an informal discussion format. He said it is an opportunity for the Claimant and his Attorney to have input to the Board and for the Board to ask any questions and discuss any documentary evidence that has been submitted to this point.

Mr. Dehner said the burden of proof is on the Claimant to establish by the greater weight of substantial competent evidence that he is entitled to the in-line of duty disability claim for which he has applied. He said, should the Board find that there is not enough weight of evidence at this point, one of two things can be done. Either continue with this informal procedure or the Board could issue a denial, state the reasons why, and what additional evidence would be needed to consider the claim favorably. He said should the Board deny the claim at the conclusion of this proceeding, then Mr. Kaller would have 90 days to request a full formal hearing before the Board. Mr. Dehner said should it end up in the full hearing procedure and the Board still finds the burden of proof is not carried at the conclusion of that proceeding, then the avenue from there for Mr. Kaller if he wished to pursue it would be to file a petition for review with the Circuit Court. There the Circuit Judge would review the record developed before the Board and determine whether to affirm the Board's action or to remand it back to the Board.

Mr. Dehner said the three legal principles that are applicable for the Board's consideration to this matter are the same ones, should it ever go to a Judge that the Judge would look to determine whether to affirm your action or not. He said first your decision has to be supported by substantial and competent evidence, second you are required to comply with the essential requirements of law, and third you are required to accord procedural due process to the Claimant (basically meaning having your rules in writing and following the rules).

Mr. Dehner said the application for disability is filled pursuant to Section 17-58(a) of the Pension Ordinance. He said the first issue that needs to be established by the greater weight of the evidence, by the Claimant, is that he is totally and permanently disabled to the extent that he is unable to render useful and efficient service as a Police Officer. He said if the Board finds in the affirmative on this issue, then the next issue would be whether or not you find that the injury was caused in the performance of duty or not. Mr. Dehner said on the issue of totally and permanent disability he said it must be established on record that not only is the Claimant not able to perform specific duties he may have been able to perform prior to the injury, but also he would not be able to perform any limited or light duty that is made available to him. Mr. Dehner said under the rules the Claimant now has the opportunity to address the Board affirmatively for 15 minutes, and then it would be open for Board questions and discussion.

Mr. Jason Fox said he was an attorney representing Mr. Kaller and said the records will show that he is totally and permanently disabled. He said Mr. Kaller is 33 years old and began his career with the New Port Richey Police Department on October 2, 2005 and had this accident on January 4, 2014 while on duty. He said he was conducting a K-9 track for a criminal suspect through a heavily wooded area and ended up injuring his back. He said as a result a Workers Compensation case was opened up and he received care and treatment with Workers Comp doctors, and will go into it in further detail. He said the injury was reported immediately and he had seen authorized doctors. He said Mr. Kaller saw Dr. Nucci and Dr. Ronzo and independent medical exams with Workers Comp doctors, Dr. Mazer and Dr. Hayes. He said ultimately what was diagnosed was an annular tear with disc bulge and herniation's in his lower back at L4-5. Mr. Fox said Mr.

Kaller was also diagnosed with disc bulging at three cervical levels, C-3/4 through C-6/7. Mr. Fox said that Dr. Hayes, who was the initial Workers Comp independent medical examiner, and later began treating Mr. Kaller, submitted a qualifying letter.

Mr. Fox said there has been absolutely no doubt or contradiction to the injury that Mr. Kaller had. He said both Workers Comp doctors, Dr. Nucci and Dr. Ronzo, recommended a discectomy, laminectomy, and fusions and wanted to put hardware in him at multiple levels. He said the Workers Comp then sent Mr. Kaller to an independent medical exam with Dr. Maser. He said this is usually done to cut off care/treatment and Dr. Maser even indicated that Mr. Kaller was a surgical candidate. Mr. Fox said all these doctors had provided significant restrictions (with needing a fusion) and have him on light duty. Mr. Fox said ultimately they had an independent medical exam with Dr. Hayes and he indicated that Mr. Kaller needed the same procedure and recommended it, but said it is a very invasive and aggressive procedure for a 31/32 year old. He said even though it was being recommended Workers Comp was not authorizing it at the time, so he continued working light duty. He said Mr. Kaller was ultimately terminated by the city because there was no permanent light duty available to him. He said there was no alternative for the city to keep Mr. Kaller employed.

Mr. Fox said the questions they have are, is the injury permanent. He said Dr. Hayes indicates on pages 380-383 of the reports that Mr. Kaller could not work secondary to his severe pain and said he was permanently and totally disabled and due to the chronicity of his symptoms that he had a component of chronic nerve damage. Mr. Fox said the surgery that was recommended is something that will fix the compressing space in his back, but does not undue nerve damage. He said the nerve damage is totally debilitating to Mr. Kaller as he cannot perform the duties of a Law Enforcement Officer. Mr. Fox said that Dr. Hayes also indicates on page 383 that Mr. Kaller is having worsening numbness and paralysis and there is a component of right sided chronic nerve damage which will not improve, therefore saying he is permanently and totally disabled despite the fact that he is still a surgical candidate. Mr. Fox said the surgery is to prevent Mr. Kaller from getting worse, the damage has already been done.

Mr. Fox said the IME, Dr. Glasser, selected by the Board disagreed that surgery would be helpful, but basically agreeing with Dr. Hayes that it would not fix Mr. Kaller's symptoms. He said that all doctors therefore agree that Mr. Kaller has permanent nerve damage. He said the difference is in what Mr. Kaller is able to do, as Dr. Hayes said Mr. Kaller can't work as he has permanent damage, Dr. Glasser said basically Mr. Kaller is limited to 50 pounds at max, and if he lifted more than 50 pounds it would aggravate or worsen his injury.

Mr. Fox said that on the job description page it indicates there is an occasional 50 pound, 20 pound frequent, and indicates you may need to lift more than 50 pounds on occasion. He said he has to exit a car quickly while wearing a 15-20 pound duty belt, there is excessive sitting and standing, and climbing fences, walls and ability to subdue a suspect. Mr. Fox said that all of these when looking at the restrictions that were assigned by Dr. Hayes, and all the other doctors: Dr. Masser, Dr. Ronzo, Dr. Nucci, there is no possible way that Mr. Kaller can do the full range of duty that is required. Mr. Fox said that they believe Mr. Kaller is totally and permanently disabled from being a Law Enforcement Officer. He said there is also no dispute that this injury was a result of the job accident and Mr. Kaller has not been able to recover. Ms. Oliver asked if there were any questions.

Sgt. Trapnell said he was up to date from the medical records and the additional information provided by Mr. Fox filled in any blanks he had and therefore had no questions. Mr. Pratt asked how the injury occurred and Mr. Kaller explained he was tracking a suspect with his K-9 in a thick wooded area with vines. He said he was bending and turning and was on his knees being pulled by the K-9. He said there was a clearing in the woods and when he went to stand up he felt a sharp pain in his back and collapsed. Mr. Bennett asked if there was any other duty at the department that he could do. Mr. Kaller said they were not willing to offer him any other work, and therefore he was medically terminated. Sgt. Trapnell said that the department in the past has allowed Officers to be in a light duty status until they recover, however said the department does not have any permanent light duty work. Mr. Pratt asked if Mr. Kaller had any previous back injuries. Mr. Kaller said he had a few sprangs but always recovered without problems.

Mr. Beckman asked Mr. Kaller if he was going through any other type of benefits such as Social Security Disability. Mr. Kaller said he was not and was looking forward to surgery, however that was a matter of when he is financially able to. Ms. Oliver said there are different standards for Social Security and pension. She said Social Security there is no gainful employment and here we're under a standard of no Law Enforcement work. Mr. Beckman said he could see that Mr. Kaller has the passion and wants to work, however believes the injury is legitimate.

Mr. Pratt said his only concern is that it appears all doctors concur that Mr. Kaller is at maximum medical improvement, however said the independent doctor's comment is that he did not think Mr. Kaller was disabled from performing the duties as a Police Officer. Mr. Dehner said in that regard Dr. Glasser states on page 3 of his report that he does not believe that Mr. Kaller is disabled from performing the duties of a Police Officer, but goes on to say he believes that lifting repetitively greater than 50 pounds would pose a risk of recurrent injury and would recommend avoidance of heavy lifting. Mr. Dehner said the job description says he may have to lift objects in excess of 50 pounds. Sgt. Trapnell said he thinks what the doctor is saying is that he believes that Mr. Kaller can do Police work if he had a desk job, and not do street work. Sgt. Trapnell said they don't have that opportunity. Mr. Pratt asked Mr. Dehner if there was a conflict with the way Dr. Glasser wrote those two sentences. Mr. Dehner said he thought it can be read so they are not inconsistent as he indicates he can do some of the duties of a Police Officers but not lift over 50 pounds. Mr. Pratt asked Mr. Dehner if it was his opinion that Mr. Kaller could not be able to do the duties here at this agency, and Mr. Dehner said: "that's what the doctor tells us". Further discussion took place.

Mr. Pratt asked Mr. Dehner on the next step. Mr. Dehner said the Board needed two motions: 1. Whether or not the Board finds that Mr. Kaller is totally and permanently disabled to the extent that he is unable to render useful and efficient service as a Police Officer, has to be yay or nay; and 2. Should you find in the affirmative on that, then the second motion would be whether or not you find the injury was directly caused by performance of his duty as a Police Officer.

Mr. Bennet asked what the Board's recourse is if the disability is granted and then 6 months down the road he is doing things he shouldn't be and could have done at the Police Department. Mr. Dehner said that the disability benefit is not necessarily a lifetime benefit, it's until death or recovery. He said with that being the case the Board should

periodically re-examine and the procedure he recommends for that is have a disability affidavit submitted annually.

**Motion:** Sgt. Trapnell made a motion that the Board finds that Mr. Kaller is totally and permanently disabled to the extent that he is unable to render useful and efficient service as a Police Officer. Mr. Beckman seconded the motion. The motion passed without opposition.

**Motion:** Mr. Beckman made a motion that the Board finds the injury was directly caused by performance of his duty as a Police Officer. Mr. Bennett seconded the motion. The motion passed without opposition.

Mr. Dehner said the effective date of the pension is today, and from here Mr. Baker will contact the Actuary to calculate the benefits, as he will have a few options to choose from. He said whenever the check is received the payment will be retroactive to today. Mr. Kaller and his attorney's thanked the Board.

### **ITEM #3 -- Any other business**

There was no other business.

**Motion:** Mr. Beckman made a motion to adjourn. Mr. Bennett seconded the motion. The motion passed without opposition. The meeting was adjourned at 10:59 AM.



# NEW PORT RICHEY

5919 MAIN STREET • NEW PORT RICHEY, FL 34652 • 727.853.1016

**TO:** City of New Port Richey City Council  
**FROM:** Elaine D. Smith, CPRP, Director of Parks and Recreation  
**DATE:** 5/2/2017  
**RE:** Parks and Recreation Advisory Board Minutes - March 14, 2017

**REQUEST:**

The request before City Council is to review the attached Minutes from the March 2017 Parks and Recreation Advisory Board Meeting.

**DISCUSSION:**

The Parks and Recreation Advisory Board meets monthly. The attached Minutes from the boards March 14, 2017 meeting were approved at the April 11, 2017 Advisory Board Meeting. The Minutes were submitted for the next available City Council Meeting on May 2, 2017.

**RECOMMENDATION:**

The recommendation before City Council is to review and accept the attached Minutes.

**BUDGET/FISCAL IMPACT:**

None.

**ATTACHMENTS:**

Description	Type
□ March Advisory Board Minutes	Cover Memo

# **PARKS & RECREATION BOARD MEETING**

**March 14, 2017**

The regular meeting of the Parks & Recreation Advisory Board was called to order at the Recreation & Aquatic Center at 7:30am on Tuesday, March 14, 2017. Chairman David Schrader, and Board Members Carolyn Marlowe, Joy Phillips, Rob Oman, Elizabeth Giordano, Greg Giordano, Dana Suiters, and staff liaison Elaine Smith were in attendance.

The February 14, 2017 minutes were unanimously approved.

## **OLD BUSINESS:**

- Reservation Signs/Sims Park – The signs for shelter reservations have been posted in Sims Park.
- 2<sup>nd</sup> Video Board Approved for Sims Park – This will be up and working soon.
- Additional Shade Features for Sims Park – Some of the shade structures will be replaced and then 2 more will be added.
- RRHS Air-Potato Pick-up/Grey Preserve – The High School Environmental Club participated in a special clean-up of Air-Potato plants at the Grey Preserve on February 25<sup>th</sup>. This was an educational experience for them to see exotic and invasive species in this non-native environment and how these plants flourish and take over.
- March Family Movie Night w/Restaurants at Sims Park – Only 1 Restaurant (Sno Shak) participated in offering concessions at movie night.
- Chick-Fil-A Concession at RAC – They are not able to provide concession service at the RAC at this time. Seasonal staff will run the concession to start with. \*(Advisory Board Member, Justin Billings arrived at the meeting.)
- NPR Rocks – Patrons have been having fun finding the Painted Rocks in the Parks.
- Summer Concert Flyer (Hand-out)
- Family Movie Night (Hand-out) – 4 movies are advertised on one flyer.

## **NEW BUSINESS:**

- \*(Not on Agenda) Silver Sneakers Program – Membership and participation is growing. (693 Silver Sneakers visits in January)

- Recycling containers – We are working with Public Works to have recycling containers paired with trash receptacles in the City Parks.  
\*(Carolyn suggested that glow-in-the-dark reflectors are placed on the recycling containers to help identify them at night, as they are difficult to distinguish from the trash receptacle in the dark.)
- Skylar Diggins, Sunday, March 26<sup>th</sup>: 2-6pm – All Advisory Board Members (and City Council Members) are invited to a meet and greet in the Conference room beginning at 1pm. Some refreshments will be provided. Her Camp will be held from 2-6pm. Recreation staff will play a short game against her staff after that.
- Marketing & Public Information Specialist – KC was introduced to the Advisory Board. She will be doing the advertising and promoting for the RAC and the Parks.

### SPECIAL EVENTS

- Lifeguard Re-certification Classes at the end of March – Registration is almost full.
- Spring Camp is also filling up
- Pool Days/Hours Changes – During Spring Break, all of the pools will be open (new schedule is available as a hand-out); then all pools will be open on the weekends only, until the end of May (hand-out is available for that schedule).

### VOX POP

Steering Committee for the Parks Master Plan has been changed to May 2<sup>nd</sup> at 1pm. Elaine will re-send an email about it.  
Justin explained his illness.  
The Chasco Float is almost done – “Salute to America”  
Next meeting will be held Tuesday, April 11th at 7:30am.  
The meeting was then adjourned.

Respectfully submitted,

*Carolyn Marlowe*

Carolyn Marlowe  
P & R Adv. Bd. Secretary

BMB: dcf





# NEW PORT RICHEY

5919 MAIN STREET • NEW PORT RICHEY, FL 34652 • 727.853.1016

**TO:** City of New Port Richey City Council  
**FROM:** Crystal S. Feast, Finance Director  
**DATE:** 5/2/2017  
**RE:** Purchases/Payments for City Council Approval

**REQUEST:**

The City Council is asked to review the attached list of purchases and expenditures and authorize payment.

**DISCUSSION:**

Section 2-161 of the City's Code of Ordinances requires approval by the City Council for purchases and payments in excess of \$25,000.

**RECOMMENDATION:**

It is recommended that the City Council authorize the payment of the attached list of purchases and expenditures.

**BUDGET/FISCAL IMPACT:**

The purchases and expenditures presented have already been budgeted for. Expenditures will be included in the fiscal year-end reporting.

**ATTACHMENTS:**

Description	Type
☐ Purchases/Payments for City Council Approval	Exhibit

PURCHASES/PAYMENTS FOR CITY COUNCIL APPROVAL

<u>Augustine Construction Inc</u>	\$121,333.30
Project: 2016 Circle Blvd Paving Project	
86% of work complete	
Pay Request #2	
 <u>Schaer Development of Central Florida Inc</u>	 27,099.54
Project: Warren Ave. Storm Drain Installation	
Project approved 08/02/2016	

RECURRING EXPENDITURES OVER \$25,000

Tampa Bay Water	\$135,965.71
Public Risk Management (Property and Casualty Ins)	113,762.00
Fiduciary Trust Intl. of the South (Police Pension - 04/06/2017)	45,088.77
Merrell Bros, Inc. (Sludge Hauling)	31,678.31



# NEW PORT RICHEY

5919 MAIN STREET . NEW PORT RICHEY, FL 34652 . 727.853.1016

**TO:** City of New Port Richey City Council  
**FROM:** Lisa L. Fierce, Development Director  
**DATE:** 5/2/2017  
**RE:** First Reading, Ordinance No. 2017-2109: Rezoning - 6571 Circle Boulevard & Ordinance No. 2017-2110: Vacation of a Portion of Central Avenue Right-of-Way

## REQUEST:

There are two requests associated with this item, including:

- 1) Rezoning from R-2, Residential District, Downtown District, & MF-14, Multi-family Residential District (and unzoned right-of-way) to PDD, Planned Development District (RPD, Residential Planned Development District Subcategory); and
- 2) Vacation of a portion of Central Avenue right-of-way.

A Development Agreement is being prepared by the City Attorney which will be provided under a separate report. A utility service agreement and utility easement are being prepared for review by Council following sale of the property.

Council is to conduct a first public hearing of the ordinances under the quasi-judicial proceedings.

## DISCUSSION:

### Existing Conditions:

The overall site is 2.82 acres located primarily on the north and south sides of Central Avenue, east of Circle Boulevard and west of Adams Street. A small parcel is located at the southeast corner of Central Avenue and Adams Street. A vacation of right-of-way (ROW) for a portion of Central Avenue is included in the site area. The standards are based on the pending vacation.

The site is vacant. It had previously been occupied by a church. The City has owned the subject property since 2005 with the intention to market it for redevelopment purposes. The City intends to enter into a development agreement with a developer for the proposed multi-family project.

### Proposal:

The proposals is to develop the site with 85 multi-family dwellings. The development is anticipated to be completed in phases. Phase 1 is parcel on the north side of Central Avenue. It is to be developed with 23 units. Phase 2 is the largest piece, on the southwest corner of Central Avenue and Adams Street and will include 59 units. It will be used for temporary special events until it is developed. Phase 3 is at the southeast corner of Central Avenue and Adams Street; it will be developed with three units.

The Planned Development District (PD) zoning requires simultaneous site plan approval. The Development Review Committee (DRC) approved the site plan at its March 23, 2017 meeting. A Unity of Title is required to distribute the development rights among the four parcels. The request for approval to the PDD includes specific development standards as part of the site plan review as provided below:

### Development Standards:

- Site location: Centered on the intersection of Central Avenue and Adams Street;

- Permitted uses: Multi-family residential development. The Phase 2 site may be used for special events until it is developed;
- Density: 85 units on 2.82 acres permitted;
- Site layout: Three-story residential buildings with interior parking and recreational areas;
- Setbacks: Allow the buildings to be located close to the street to provide a building wall;
- Building design: Mansion-type multi-family buildings;
- Building height:
  - Phases 1 & 2 - 45 feet;
  - Phases 1 & 2 tower features - 45 feet;
  - Phase 3 - 35 feet;
- Landscaping/buffering/streetscape: Perimeters of all parking areas will be landscaped per the Code. Vegetated buffers will be provided along the north lot line in Phase 1 and the southwest lot line in Phase 2;
- Parking: A minimum of one space per dwelling unit (82 spaces) plus 12 additional spaces on-site spaces for a total of 97 on-site spaces. There will be 32 on-street spaces in the right-of-way adjacent to the site. Additional spaces will be provided with Phase 3;
- Lighting: Lighting will be shielded to direct light away from adjoining properties and to emit no light upward. Parking lot and pathway lighting shall follow “dark sky” practices including using warm-white or filtered LEDs;
- Signage: A single sign or lettering with the building name may be included above or adjacent to each building entrance. Two monument signs will be located at the northeast and southeast corners of the intersection of Central Avenue and Circle Boulevard;
- Stormwater/drainage: Two dry stormwater ponds will be provided. In addition, the site will drain to Orange Lake.

A vacation of right-of-way is requested that will narrow the Central Avenue to make the Unity of Title feasible. The area of the vacation request is included in the site area. Central Avenue’s right-of-way is 80 feet wide; the subject property includes the northern 15 feet and the southern 15 feet of the right-of-way between Circle Boulevard and Adams Street.

#### **Concurrency Review:**

To ensure that the rezoning will meet concurrency standards, an availability and demand analysis is performed for the maximum potential development. Concurrency is determined by comparing the available capacity of a public facility/service with the total demand of the subject site, which is measured by determining the potential demand minus the demand generated by the existing uses.

- Traffic:  
The Land Development Code requires a transportation study for proposed projects that generate more than 50 trips per day in the PM peak hour of operation. The multi-family development will generate less than 50 trips per day in the PM peak hour of operation. No traffic study is needed.
- Sanitary Sewer:  
Sanitary sewer treatment will be provided by the City’s wastewater treatment facility, which is designed to handle 7.5 million gallons per day (gpd). From the 7.5 million gpd, Pasco County is allotted a capacity of 3.0 million gpd, which leaves the City with a capacity of 4.5 million gpd. The total daily flow is approximately 5.0 million gpd, allowing for a 2.5 million gpd surplus capacity. The proposed rezoning is expected to generate demand of 18,411 gpd with the 85 multi-family residential units which is serviceable by the City.
- Potable Water:  
The City of New Port Richey will provide water service and the City is supplied water by Tampa Bay Water. The present design of the City’s water treatment facility is 11.1 million gpd. The approximate average daily flow is 3.5 million gpd with a surplus of 7.6 million gpd. The proposed rezoning is expected to generate demand of 24,548 gpd with the 85 multi-family residential units which is serviceable by the City.
- Solid Waste:  
The City does not provide solid waste service. This is provided through franchise agreements with independent haulers. The City has an interlocal agreement with Pasco County for solid waste disposal and the County is responsible for providing adequate dumping sites.

- Drainage:  
The City handles drainage demand through the development review process at the time such development occurs. Post-development drainage patterns cannot exceed pre-development patterns. The majority of run-off from the proposed development is anticipated to flow west to Orange Lake. The City will soon commence a dredging project to increase capacity in Orange Lake. A portion of the project's runoff will be contained in on-site stormwater detention areas.
- Recreation:  
According to the adopted level of service for future recreation needs (Table 5, Recreation and Open Space Elements, Comprehensive Plan), the City of New Port Richey has a surplus of facilities for a population of 20,000 and over, depending on the type of facility. The future residents are anticipated to utilize Sims Park for recreational purposes. The City has recently completed a multi-million-dollar refurbishment of the park.
- Fire & Emergency Medical Services:  
Fire and emergency medical services will be provided to this property by Station #1 is located at 6333 Madison Street. The Fire Department will continue to serve this property and the rezoning will not adversely affect fire and EMS service and response time.
- Police:  
The City of New Port Richey administers police service. There are currently 42 officers that offer police protection to the residents of the City. Community policing service will be provided through the City's zone system and officers in the field.

#### **Compatibility with Comprehensive Plan:**

The proposal will be consistent with the following Comprehensive Plan objectives and policies:

- FLU Policy 1.1.6 - The Planned Development District regulations, at minimum, shall address the following:
  - a. Allow for creative approaches for development and redevelopment;
  - b. Require that more open space be provided than that called for by the strict application of the minimum requirements in the Land Development Code;
  - c. Require enhanced architectural design of proposed structures;
  - d. Harmonious development of the site in consideration of surrounding areas and community facilities, while providing safe and efficient traffic circulation for both nonmotorized and motorized transportation modes;
  - e. Allow for zero lot line, cluster or other efficient lot layout or site design;
  - f. Identification of restrictions on proposed permitted or conditional land uses;
  - g. Establishment of minimum acreage and dimensional requirements;
  - h. Establishment of minimum design, landscaping, buffering and outdoor illumination criteria;
  - i. Establishment of procedures for the granting of increased structure height in exchange for increased open space and decreased amounts of impervious surfaces; and
  - j. Other provisions as deemed appropriate by the City in keeping with the intent of the Planned Development Districts.
- FLU Policy 1.2.2 - The City shall encourage a balanced land use mix providing for a variety of housing styles, densities and open space.
- LIV Policy 1.3.4 - Encourage site and building design that orients doors and windows to overlook streets and parking areas.
- LIV Policy 1.3.7 - Low-growing landscaping, outdoor lighting and property maintenance should be used to maximize visibility on a site, in accordance with CPTED principles.
- LIV Policy 2.1.1 - Plan for the evolution of neighborhoods into socially and economically vital places that provide choice in housing and transportation.
- LIV Policy 2.1.2 - Promote a mix of housing types, styles and lot sizes within neighbor-hoods, emphasizing harmonious design and building type.
- LIV Policy 2.5.2 - Walls and landscaping used to buffer new development from lesser intensity existing development should be designed to be compatible with the neighborhood and allow pedestrian penetration in safe and convenient locations.
- LIV Policy 2.5.3 - New development and redevelopment in Centers and Employment Districts shall utilize the Planned Development District zoning and pre-application coordination with City staff to ensure that

- community development objectives are thoroughly and efficiently addressed.
- LIV Policy 2.5.4 - Compatible new development and redevelopment may be achieved through site design techniques including but not limited to transitions in land uses, buffering, setbacks, open space and graduated height restrictions.
  - LIV Policy 3.9.1 - Traffic calming features emphasizing horizontal deflection (e.g., narrow travel lanes) rather than retrofitted with punitive devices that rely on vertical deflection (e.g., speed humps).
  - LIV Policy 3.9.5 - Promote the installation of street trees and on-street parking as traffic calming features.
  - LIV Policy 3.10.1 - Design street landscaping to include the following considerations: a. Vehicular safety; b. Median landscaping; and c. Preservation of existing vegetation.
  - LIV Policy 3.10.2 - Provide for unified and well-designed landscape treatment.
  - LIV Policy 4.2.1 - Provide a sense of vertical enclosure on streets through minimal front setbacks, similar building heights and street trees. Building heights should be proportionately higher on wide streets (inclusive of setbacks) to achieve vertical enclosure.
  - LIV Policy 4.2.2 - In Centers and designated Transit Corridors, buildings should be located close or adjacent to the sidewalk.
  - LIV Policy 4.3.1 - Provide visually unobtrusive parking lots and circulation aisles that do not visually dominate views from the street nor interfere with pedestrian accessibility. To the maximum extent feasible, parking shall be located behind buildings bordering the street and use landscaping to interrupt the visual appearance of large parking lots.
  - LIV Policy 4.5.1 - Encourage building design to provide an ordered variety of entries, porches, windows, bays and balconies along public ways where it is consistent with neighborhood character; avoid blank or solid walls at street level; and include human-scale details and massing.

#### **RECOMMENDATION:**

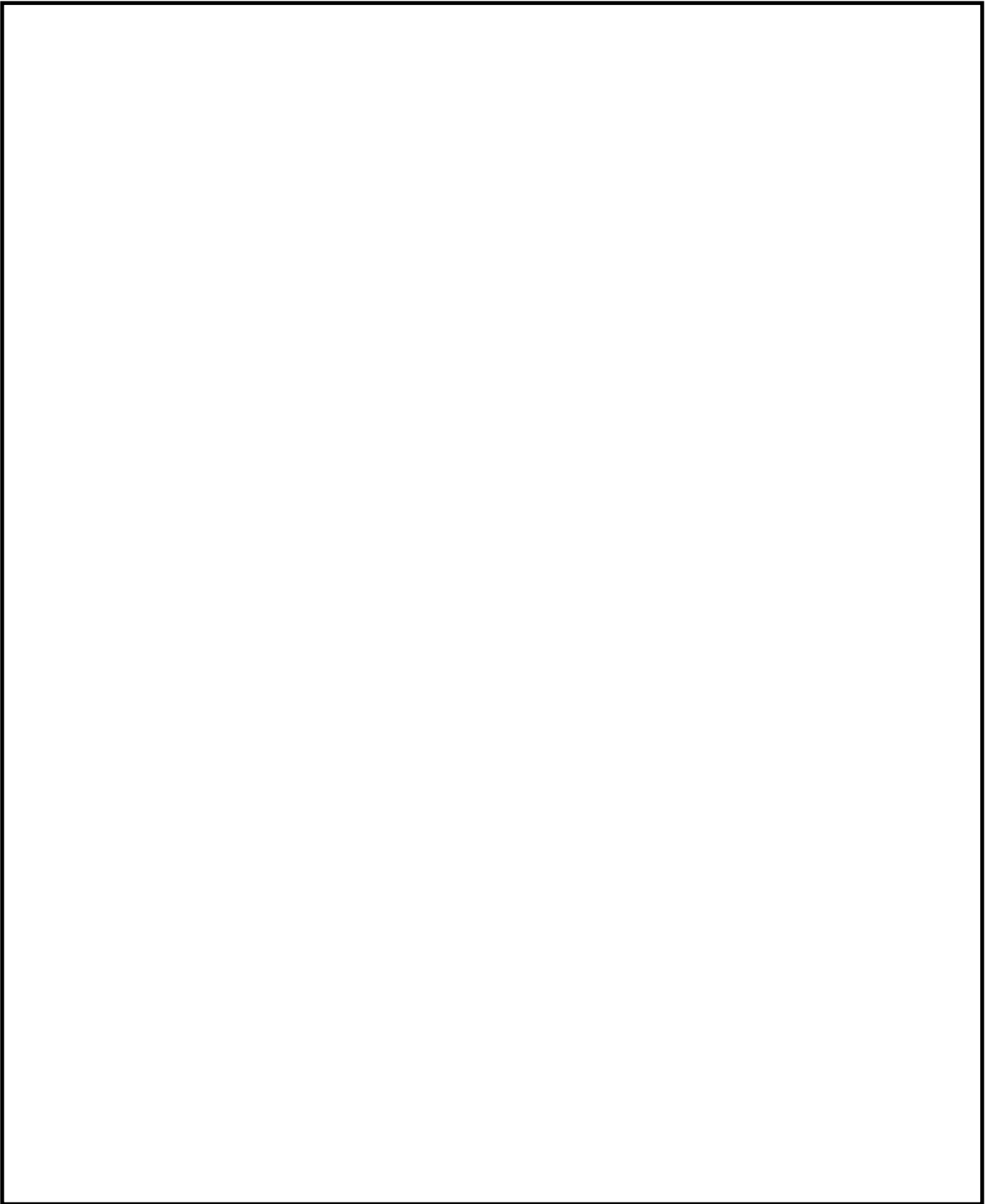
Staff is recommending approval of both requests. The Land Development Review Board (LDRB) held a public hearing on the rezoning ordinance on April 20, 2017 and recommended approval. Comments from the public included concerns regarding parking, height, traffic and the use of the property as rentals.

#### **BUDGET/FISCAL IMPACT:**

The City agreed to sell the property to the developer for \$300,000. Other costs related to the project will be outlined in the development agreement.

#### **ATTACHMENTS:**

Description	Type
❑ Site Location Map	Backup Material
❑ Ordinance #2017-2109, Rezoning	Ordinance
❑ Ordinance #2017-2110, Vacation of Right-of-Way	Ordinance
❑ Rezoning Application	Backup Material
❑ Site Plan Application	Backup Material
❑ Existing Zoning Map	Backup Material
❑ Proposed Zoning Map	Backup Material
❑ Site Plan	Backup Material
❑ LDRB Minutes - April 20, 2017	Backup Material



**Development Department**  
City of New Port Richey, Florida

**Case:**

**Address:**

**Owner:**



Not to Scale

ORDINANCE # 2017-2109

AN ORDINANCE REZONING APPROXIMATELY 2.82 ACRES OF PROPERTY GENERALLY LOCATED EAST OF CIRCLE BOULEVARD, WEST OF ADAMS STREET AND NORTH AND SOUTH OF CENTRAL AVENUE, AND LOCATED SOUTH OF CENTRAL AVENUE AND EAST OF ADAMS STREET, AND INCLUDING 30 FEET OF VACATED CENTRAL AVENUE RIGHT-OF-WAY LOCATED EAST OF CIRCLE BOULEVARD AND WEST OF ADAMS STREET FROM: R-2 RESIDENTIAL DISTRICT (0.743 ACRES), DOWNTOWN DISTRICT (1.77 ACRES), MF-14, MULTIFAMILY RESIDENTIAL DISTRICT (0.173 ACRES) AND RIGHT-OF-WAY (0.143 ACRES) TO: PDD, PLANNED DEVELOPMENT DISTRICT (RPD, RESIDENTIAL PLANNED DEVELOPMENT DISTRICT SUBCATEGORY); FURTHER DESCRIBED HEREIN AND IN EXHIBIT A; PROVIDING DEVELOPMENT STANDARDS IN EXHIBIT B; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Growth Management Act of 1985 requires that each municipality in the state shall prepare and adopt a Comprehensive Plan of the type and in the manner set out in the act; and

WHEREAS, the City of New Port Richey has adopted a Comprehensive Plan pursuant to the Growth Management Act of 1985; and

WHEREAS, the Land Development Review Board (Local Planning Agency) and the City Council of New Port Richey has reviewed this rezoning as REZ2017-01, also attached as Exhibit A, as set forth under Chapter 163 F.S. and Chapter 166 F.S.; and

WHEREAS, the City Council of the City of New Port Richey finds and declares that this rezoning, also attached as Exhibit A, is consistent with the adopted Comprehensive Plan;

NOW, THEREFORE THE CITY OF NEW PORT RICHEY, FLORIDA HEREBY ORDAINS:

SECTION I.

That the real property described in Exhibit A and further described herein is hereby rezoned as follows:

The following described real property referred to as REZ2017-01 in Exhibit A and generally located east of Circle Boulevard, west of Adams Street and north and south of Central Avenue; south of Central Avenue and east of Adams Street; and including 30 feet of vacated Central Avenue right-of-way located east of Circle Boulevard and west of Adams Street; New Port Richey, Florida is hereby amended from: R-2, Residential District, Downtown District and MF-14, Multifamily Residential District (15.257 acres) and Central Avenue Right-of-Way (0.153 acres) to: PDD, Planned Development District (RPD, Residential Planned Development District Subcategory);

Legal Description:

- Parcel Number: 05-26-16-0030-07400-0140 - CITY OF NEW PORT RICHEY PB 4 PG 49 LOTS 14 15 & 16 BLOCK 74 OR 6760 PG 1336
- Parcel Number: 05-26-16-0030-04900-0010 - TOWN OF NEW PORT RICHEY PB 4 PG 49 LOTS 1 & 2 BLOCK 49 OR 6760 PG 1336



- Parcel Number: 05-26-16-0030-07500-0030 - CITY OF NEW PORT RICHEY PB 4 PG 49 LOT 3 BLOCK 75 EXC COM AT MOST ELY COR OF LOT 3 FOR POB TH ALG SELY BDY OF LOT 3
- Parcel Number: 05-26-16-0030-07500-0010 - TOWN OF NEW PORT RICHEY PB 4 PG 49 LOTS 1 2 4 & 5 BLK 75 & POR OF LOT 3 BLK 75 DESC AS COM MOST ELY COR OF SAID LOT 3
- Including the two following descriptions of right-of-way:
  - The North 15 feet of Central Avenue Right-of-Way (80' Right-of-Way), as show on the plat of City of New Port Richey, as recorded in Plat Book 4, Page 49, of the Public Records of Pasco County, Florida. Bounded on the West by the East Right-of-Way line of Circle Boulevard. Bounded on the East by the West Right-of-Way line of Adams Street and being more particularly described as follows:

BEGIN at the Southwest corner of Lot 1, Block 49, of said plat of City of New Port Richey, thence S.89°50'57"E., a distance of 207.88 feet along the South boundary of said Lot 1, also being the North right-of-way line of said Central Avenue to the West Right-of-Way line of said Adams Street; thence leaving said South boundary, along the Southerly extension of the West Right-of-Way line of said Adams Street S.00°34'20"W., a distance of 15.00 feet; thence N.89°50'57"W., a distance of 206.47 feet to the Southerly extension of the Easterly Right-of-Way line of said Circle Boulevard; thence along said Southerly extension, Northerly, 15.06 feet along the arc of a non-tangent curve to the left having a radius of 355.00 feet and a central angle of 02°25'48" (chord bearing N.04°46'31"W., 15.06 feet) to the POINT OF BEGINNING.

- The South 15 feet of Central Avenue Right-of-Way (80' Right-of-Way), as show on the plat of City of New Port Richey, as recorded in Plat Book 4, Page 49, of the Public Records of Pasco County, Florida. Bounded on the West by the East Right-of-Way line of Circle Boulevard. Bounded on the East by the West Right-of-Way line of Adams Street and being more particularly described as follows:

BEGIN at the Northeast corner of Lot 1, Block 75, of said plat of City of New Port Richey; thence along the North boundary of said Lot 1, also being the South right-of-way line of Central Avenue, N.89°50'57"W., a distance of 208.63 feet to the Northwest corner of said Lot 1; thence leaving said North boundary, along the Northerly extension of the East Right-of-Way line of said Circle Boulevard, Northerly, 15.06 feet along the arc of a non-tangent curve to the left having a radius of 300.00 feet and a central angle of 02°52'38" (chord bearing N.05°23'51"E., 15.06 feet); thence S.89°50'57"E., a distance of 207.36 feet; thence along the Northerly extension of the East Right-of-Way line of said Adams Street, S.00°34'20"W., a distance of 15.00 feet to the POINT OF BEGINNING.

Containing 2.82 Acres more or less.

## SECTION II. Development Standards. (Refer to Exhibit B)

## SECTION III. Severability.

If any phrase or portion of this Ordinance, or the particular application thereof, shall be held invalid or unconstitutional by any court, administrative agency or other body with appropriate jurisdiction, the remaining section, subsection, sentences, clauses, or phrases and their application shall not be affected thereby.

SECTION IV. Effective Date.

This Ordinance shall become effective as provided by law.

The above and foregoing Ordinance was read and approved on first reading at a duly convened meeting of the City Council of the City of New Port Richey, Florida, this \_\_ day of \_\_\_\_\_, 2017.

The above and foregoing Ordinance was read and approved on second reading at a duly convened meeting of the City Council of the City of New Port Richey, Florida, this \_\_ day of \_\_\_\_\_, 2017.

ATTEST:

CITY OF NEW PORT RICHEY,  
FLORIDA

(SEAL)

\_\_\_\_\_  
Judy Meyers, City Clerk

\_\_\_\_\_  
Rob Marlowe, Mayor - Councilmember

APPROVED AS TO LEGAL FORM AND CONTENT

\_\_\_\_\_  
Timothy P. Driscoll, City Attorney

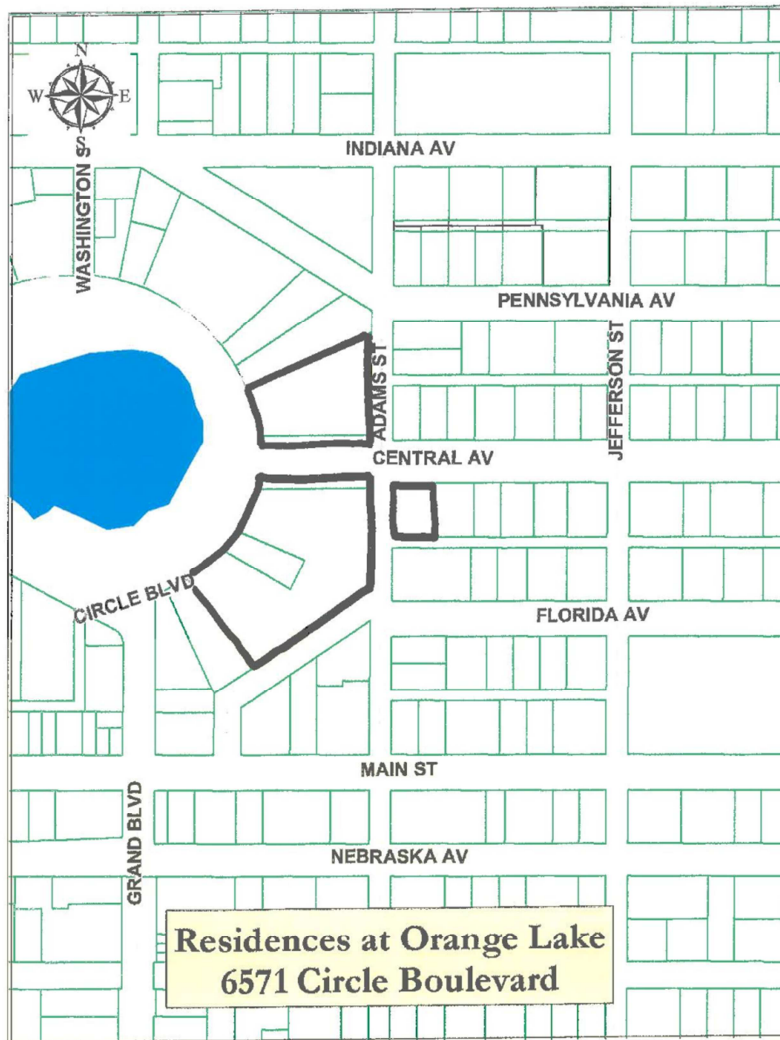


EXHIBIT A

## EXHIBIT B – ORDINANCE #2017-2109

### Residences at Orange Lake - Planned Development District Development Standards Rezoning Application REZ2017-01/PSP2017-03

#### **Site Location:**

The overall site is 2.82 acres located primarily on the north and south sides of Central Avenue, east of Circle Boulevard and west of Adams Street. A small parcel is located at the southeast corner of Central Avenue and Adams Street. A vacation of right-of-way along Central Avenue is included in the site area. These standards are based on the pending vacation.

The site consists of four separate parcels that will be developed in three phases: Phase 1 (parcel #05-26-16-0030-04900-0010); Phase 2 (parcels #05-26-16-0030-07500-0010 and 05-26-16-0030-07500-0030) and Phase 3 (parcel # 05-26-16-0030-07400-0140). They will be combined through Unity of Title application to create a master site.

#### **Permitted Uses:**

This development will include residential dwellings in apartments. The Phase 2 site may be used for special events as defined and regulated by City Code, prior to the development of that phase.

#### **Density:**

Density is based on future land use designation. As the City continues its efforts to encourage and incentivize redevelopment downtown, it recently amended the Downtown and Downtown Core future land use categories to increase density providing needed entitlements for this development.

Phase 1 is designated LMDR-10, Low Medium Density Residential Category, Phase 2 carries the Downtown Core-40 Category and Phase 3 is designated Downtown-20 Category. The density is multiplied by the applicable acreage to determine the maximum number of units.

The total number of dwellings permitted is 85 units within three phases: Phase 1 will have 23 units; Phase 2 will have 59 units; and Phase 3 will have three units.

Phase	Parcel # and Parcel ID	Land use category	Acreage	Density
Phase 1	Parcel 2; 05-26-16-0030-04900-0010	LMDR-10	$0.743 + 0.07^* = 0.813$ acres	8.13 units
Phase 2	Parcel 3; 05-26-16-0030-07500-0030 Parcel 5: 05-26-16-0030-07500-0010	Downtown Core-40	$0.173 \text{ ac} + (1.597 + 0.07^*) 1.66 \text{ ac} = 1.84$ acres	73.6 units
Phase 3	Parcel 1: 05-26-16-0030-07400-0140	Downtown-20	0.173 acres	3.46 units
Total			2.826 acres	85.19 units

\* Additional acreage from vacation of right-of-way along Central Avenue

#### **Site Plan:**

The site plan sets forth a preliminary layout of the proposed development of the property for the apartment units. Planned Development Districts require simultaneous rezoning and site plan approval. The plan depicts the general layout of planned buildings, driveways, parking lots and other improvement subject to minor modifications as may be required to gain necessary approval of the relevant City agencies. A minor modification would include shifting a structure up to five feet, but not encroaching over setbacks or into buffers.

The basis of the plan is to create high quality, higher density residential development downtown, in order to foster increased demand for goods and services, including the existing and recently-opened restaurants and retail businesses, as well as a wider range of businesses in the future. The refurbishment of Sims Park

provides an excellent recreational amenity within walking distance for downtown residents. Providing more residential options downtown and generating demand for commercial spaces is key to making Downtown a complete urban center where people live, work, shop and socialize.

**Setbacks:**

Setbacks are measured from property line to the closest structure:

Phase	Setback		
Phase 1	Front	Side	Rear
	8 feet along west property line at Circle Boulevard to porches (screened or open) and balconies	5 feet along north property line to one-story garage	
	16 feet along west property line at Circle Boulevard to apartment building	25 feet along north property line to apartment building	
	22 feet along south property line at Central Avenue to apartment building		
	19 feet with 8-foot clearance along south property line at Central Avenue for 2nd floor balconies		
	10 feet along east property line at Adams Street to apartment building and 5 feet to dumpster enclosure		
Phase 2	8 feet along west property line at Circle Boulevard to porches (screened or open) and balconies	5 feet along southwest property line	
	16 feet along west property line at Circle Boulevard to apartment building		
	19 feet with 8-foot clearance along north property line at Central Avenue for 2nd floor balconies		
	22 feet along the north property line at Central Avenue to apartment building		
	8 feet along south property line at Florida Avenue to apartment building and 5 feet to dumpster enclosure		
	10 feet along the east property line at Adams Street to apartment building and 5 feet to porch or dumpster enclosure		
Phase 3	5 feet along west property line at Adams Street to porch and 10 feet to apartment building	5 feet along east property line	5 feet along south property line at alley
	20 feet along north property line at Central Avenue to apartment building and 10 feet to porch		

**Building Design:**

The architecture of the buildings will be unified by a simple set of materials employed in ways that express the construction of the buildings – stucco over masonry, siding over frame walls, shingle roofs – and simple traditional building forms. The basic building type is a mansion-type apartment building of the sort commonly built in traditional towns and cities before WWII. Architectural style, as expressed in details such as porches, balconies, eaves, trim, window and door types, paint colors, etc. will vary from one building to the next. The goal of this variation is to avoid the appearance of “cookie-cutter” buildings or an “apartment complex” of uniform buildings in the heart of town, and also to blend the buildings with the eclectic collection of architectural styles that is typical in urban settings such as New Port Richey.

Buildings shall be oriented to create spatial enclosure for the surrounding streets. Buildings that are interior to the site shall be oriented to create spatially-defined passages (pedestrian and/or vehicular) within and through the site. Building entrances shall be included on the street-facing side of every building that faces a street. All units will be accessible by stairs with no elevators. The buildings will be designed so that there will not be a "blank wall" effect. The minimum floor area per unit shall be 400 square feet for efficiency apartments, 500 square feet for one-bedroom apartments and 650 square feet for two-bedroom apartments.

Building materials will be used in straightforward ways to convey the construction of the buildings: concrete block with a cementitious finish and usually un-trimmed windows at the ground level (when used); wood frame with cement-fiber board siding (no aluminum or vinyl siding) and trimmed windows above. Changes in material will be horizontal except for additive elements such as porches, balconies, bay windows, and canopies.

Color for walls, trim or architectural accents will be used to differentiate buildings from one another, while remaining complementary to the whole. Color selections will be appropriate to each building's architectural tradition. Primary color hues will be avoided in favor of the more complex hues found in traditional paint colors. Wall colors will be subdued; more intense colors may be used for trim or accents.

The windows will be vinyl or aluminum with vertical proportions, simulated divided light and clear glass. Decorative or operable shutters may be employed on some buildings in accordance with the architectural style of the building, and shall be sized appropriately to cover the window, even if only decorative.

Roofs on each principle structure will be hip or gable (simple, parapeted or pedimented) in form with between 4:12 and 8:12 pitch. Buildings facing Adams Street, Florida Avenue, or interior to the site may have a parapet wall and a low-slope roof. Porches and balcony roofs attached to the principle structure may have a shed or hip roof with a pitch between 3:12 and 6:12. Roof pitch on towers is not limited.

The maximum permitted height of the primary structures is 45 feet for Phase 1 and Phase 2, and 35 feet for Phase 3. Maximum height is measured from base flood elevation to the peak of the roof. Tower features will be located at the corners along Central Avenue and Circle Boulevard at a maximum height of 55 feet. Balconies and their supporting structures shall be a minimum eight feet above the ground.

All accessory buildings (garages, etc.) will be treated with the same design, color and materials as the primary apartment buildings. All mechanical equipment shall be painted to match the adjacent building or screened with landscaping or fencing. Gutters and downspouts will be decorative metal or painted to match the building.

Garbage dumpsters shall be enclosed with a six-foot tall fence or wall that matches the color of the buildings. The exterior of the dumpsters shall be landscaped with shrubs or large grasses. All enclosures will be four sided with an opaque gate.

### **Landscaping/Buffering/Streetscape:**

The exterior perimeters of all parking areas shall be landscaped with a buffer strip at least three feet in width. Such buffer strips shall include one tree for each 35 linear feet, or fraction thereof, of perimeter and a three-foot high continuous hedge. This shall screen the vehicular use area from the public right-of-way. Landscaping will also be provided adjacent to neighboring properties to the north of Phase 1 and to the south of Phase 2. The buffers along the north lot line in Phase 1 and the southwest lot line in Phase 2 will be five feet wide. This shall include a mixture of fencing and plantings to create a buffer that is 50% opaque within one year of planting, up to a minimum height of three feet.

Most of the existing trees and palms on the property will be removed during the construction as they are located within the footprint of a proposed building or paved area. The number of inches being removed is 238 inches. Trees will be replaced as part of the proposed landscape plan including 260 inches. Any trees to be remain will be protected by fencing during all stages of construction.

Street trees will be installed along all public rights-of-way. The plantings shall include *Acer rubrum* (Florida Maple) and *Sabal Palmetto* (Sabal Palm) trees along Central Boulevard, *Acer rubrum* (Florida Maple) trees along Circle Boulevard, *Quercus virginiana* (Live Oak) trees along Adams Street and *Lagerstroemia indica* (Crepe Myrtle) and *Viburnum obovatum* (Walter's Viburnum) trees along Florida Avenue.

Central Avenue has an 80-foot right-of-way. The northern 15 feet and southern 15 feet of the ROW will be vacated as part of this project, leaving 50 feet of ROW. The section between Circle Boulevard and Adams Street will be designed with a landscaped median.

Building perimeter landscaping will be used to provide privacy and screening for unit windows and patios. Shrubs and small trees will be used to screen mechanical equipment and sections of blank walls.

### **Parking:**

This project is geared towards the “millennial” and “empty-nest” markets. Demand for urban living is being reshaped by the desire of the largest American generation, millennials (born 1983-2000), who are seeking to live in more urban and less automobile-dependent places. The revolution in mobile internet-connected technologies and social networking are making transportation alternatives to not owning a personal vehicle more convenient, allowing a larger share of households to adopt for car free and car-light lifestyles with dramatically reduced rates of driving and individual car ownership. Baby boomers too are seeking more convenient, urbane places as empty nesters and retirees downsize.

From a public infrastructure perspective, having residents located closer to goods and services downtown provides opportunities to reduce vehicle miles traveled and to reduce traffic congestion. The City has made significant investments in the public realm in downtown, including streets, sidewalks, parks and civic spaces, which make walking and biking safer and more comfortable and provide pedestrians and cyclists with multiple destinations in close proximity.

The City has established a Transportation Concurrency Exception Area (TCEA) in the downtown, which includes the Downtown Core Category. The purpose of it is to reduce the potential negative impacts that transportation concurrency requirements would have on the City's efforts to encourage and attract redevelopment efforts downtown, such as requiring additional traffic lanes to accommodate an increase in vehicle trips generated by new development. Higher-density residential development is appropriately located downtown where residents can rely on transportation modes other than the car, such as Pasco County Public Transportation (PCPT) transit buses, walking and cycling. Downtown is served by PCPT Route 14. Maintaining the grid street system is a key component in the TCEA.

Parking is typically required for multi-family development based on the number of bedrooms provided. This would equal approximately 140 spaces, which would vary depending on the mix of 1- and 2-bedroom apartments. In this case, parking on site is being provided a minimum of one space per dwelling unit (82 spaces) plus 12 additional spaces on-site spaces for a total of 97 on-site spaces, as depicted on site plan. Many of the required on-site spaces will be provided in enclosed garages. Compact spaces may be used for up to 20% of total required on-site parking spaces, by phase of development. Concrete wheel stops will be provided for all on-site perpendicular or angle-parking spaces to prevent overhanging into landscaping or walkways. On-site spaces will be reserved for resident use only.

In addition to the on-site spaces there will be 32 newly-created on-street spaces located in the right-of-way adjacent to the site. These provide visitor parking spaces, although they are unreserved. These are public spaces available based on a first-come, first-served basis.

All on-site parking is designed for vehicles to move in a forward motion with no backing into the right-of-way. Access to the parking areas is available from Adams Street (Phases 1 and 2), Florida Avenue (Phase 2) and the existing alley between Central Avenue and Florida Avenue (Phase 3). No vehicular access is permitted from Central Avenue or Circle Boulevard. The alley will need to be paved from Adams Street to Jefferson Street prior to the completion and use of the apartments in Phase 3.

No vehicles other than automobiles, bicycles, golf carts, and motorcycles shall be permitted to be parked on the property (no boats/watercraft, RVs, trailers, etc.). Bicycle parking is provided throughout the development within in bike racks at a ratio of 0.10 per parking space.

#### **Lighting:**

Light poles will be black, aluminum with cut-off and shielded fixtures that direct light away from adjoining properties and emit no light upward. The maximum height of the poles will be 18 feet to the top of the fixtures. Lighting levels shall be adequate but low, to prevent night-blindness that results from glare from excessively bright lights. Parking lot and pathway lighting shall follow “dark sky” practices including using warm-white or filtered LEDs.

Street lights along Circle Boulevard, Central Avenue, Adams Street and Florida Avenue will be installed by the City in a design that coordinates with the residential character of the project and surrounding areas. The lights along these streets will include shields to provide the dark sky for the residents.

#### **Signage:**

A single sign or lettering with the building name may be included above or adjacent to each building entrance. Such sign or lettering may not exceed 10 square feet in area, and the top of the sign shall not exceed 14 feet above ground floor elevation. Sign location and size shall be included on architectural permit drawings. The project may include two 48 square foot monument signs not to exceed four feet in height. Sign locations shall be located at the northeast and southeast corners of the intersection of Central Avenue and Circle Boulevard.

#### **Stormwater/Drainage:**

The site was originally developed with a church and most of the impervious areas were removed five years ago. For the purposes of stormwater calculations, however, that impervious area is credited forward to the proposed development and is vested from stormwater permitting. Overall, there is a net increase in impervious surface ratio that requires the project to include treatment for water quality. This is being provided within two dry stormwater ponds. Water quality is being shown by demonstrating that 1/2” of new impervious area runoff can percolate through the pond within a 72 hour period.



The site is located within an open drainage basin and is across the street from Orange Lake. The project will drain to the lake. The timing of the construction of the project may be impacted by the City's project to dredge and restore the water quality of Orange Lake.

**Other:**

The Property will be owned and operated by the Applicant, who will manage the property including all maintenance.

There shall be no outside storage of personal belongings on the property with the exception of bicycles and kayaks, which shall be in designated racks internal to the site. Patio furniture shall be permitted outdoors if it is constructed and designed for such use. No indoor furniture shall be located or used outdoors. Barbecue grills shall not be permitted on porches or balconies. Grills and outdoor eating areas for resident use will be provided in common areas and depicted on the site plan.

There will be no work done to automobiles or motorcycles other than routine maintenance (washing, waxing, etc.). No vehicles will be stored on site unless they are for the use of the renter.

ORDINANCE# 2017-2110

AN ORDINANCE VACATING TWO 0.071-ACRE PORTIONS OF CENTRAL AVENUE, BETWEEN CIRCLE BOULEVARD AND ADAMS STREET, MORE FULLY DESCRIBED HEREIN AND IN EXHIBIT A, AND RESERVING UNTO THE CITY OF NEW PORT RICHEY FLORIDA, A UTILITY EASEMENT IN, UNDER, ON, OVER AND ABOVE SAID RIGHT OF WAY; MORE FULLY DESCRIBED HEREIN; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of New Port Richey, Florida concerning the petition to two portions of Central Avenue situated between Circle Boulevard and Adams Street, being more particularly described as follows:

THE NORTH 15 FEET OF CENTRAL AVENUE RIGHT-OF-WAY (80' RIGHT-OF-WAY), AS SHOW ON THE PLAT OF CITY OF NEW PORT RICHEY, AS RECORDED IN PLAT BOOK 4, PAGE 49, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA. BOUNDED ON THE WEST BY THE EAST RIGHT-OF-WAY LINE OF CIRCLE BOULEVARD. BOUNDED ON THE EAST BY THE WEST RIGHT-OF-WAY LINE OF ADAMS STREET AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF LOT 1, BLOCK 49, OF SAID PLAT OF CITY OF NEW PORT RICHEY, THENCE S.89°50'57"E., A DISTANCE OF 207.88 FEET ALONG THE SOUTH BOUNDARY OF SAID LOT 1, ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF SAID CENTRAL AVENUE TO THE WEST RIGHT-OF-WAY LINE OF SAID ADAMS STREET; THENCE LEAVING SAID SOUTH BOUNDARY, ALONG THE SOUTHERLY EXTENSION OF THE WEST RIGHT-OF-WAY LINE OF SAID ADAMS STREET S.00°34'20"W., A DISTANCE OF 15.00 FEET; THENCE N.89°50'57"W., A DISTANCE OF 206.47 FEET TO THE SOUTHERLY EXTENSION OF THE EASTERLY RIGHT-OF-WAY LINE OF SAID CIRCLE BOULEVARD; THENCE ALONG SAID SOUTHERLY EXTENSION, NORTHERLY, 15.06 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 355.00 FEET AND A CENTRAL ANGLE OF 02°25'48" (CHORD BEARING N.04°46'31"W., 15.06 FEET) TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 3,107 SUARE FEET – 0.071 ACRES, MORE OR LESS.

THE SOUTH 15 FEET OF CENTRAL AVENUE RIGHT-OF-WAY (80' RIGHT-OF-WAY), AS SHOW ON THE PLAT OF CITY OF NEW PORT RICHEY, AS RECORDED IN PLAT BOOK 4, PAGE 49, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA. BOUNDED ON THE WEST BY THE EAST RIGHT-OF-WAY LINE OF CIRCLE BOULEVARD. BOUNDED ON THE EAST BY THE WEST RIGHT-OF-WAY LINE OF ADAMS STREET AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF LOT 1, BLOCK 75, OF SAID PLAT OF CITY OF NEW PORT RICHEY; THENCE ALONG THE NORTH BOUNDARY OF SAID LOT 1, ALSO BEING THE SOUTH RIGHT-OF-WAY LINE OF CENTRAL AVENUE, N.89°50'57"W., A DISTANCE OF 208.63 FEET TO THE NORTHWEST CORNER OF SAID LOT 1; THENCE LEAVING SAID NORTH BOUNDARY, ALONG THE NORTHERLY EXTENSION OF THE EAST RIGHT-OF-WAY LINE OF SAID CIRCLE BOULEVARD, NORTHERLY, 15.06 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 300.00 FEET AND A CENTRAL ANGLE OF 02°52'38" (CHORD BEARING N.05°23'51"E., 15.06 FEET); THENCE S.89°50'57"E., A DISTANCE OF 207.36 FEET; THENCE ALONG THE NORTHERLY EXTENSION OF THE EAST RIGHT-OF-WAY LINE OF SAID ADAMS STREET, S.00°34'20"W., A DISTANCE OF 15.00 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 3,119 SQUARE FEET, 0.071 ACRES, MORE OR LESS.

WHEREAS, a public hearing was held and all comments in support of and opposition to the proposed vacation of the above-described right-of-way were heard; and

WHEREAS, the City Council has determined that no person or other entity will be prejudiced by the vacation of said right-of-way; provided, however, that a utility easement is reserved in, under, on, over and above said right-of-way and includes all usage of subsurface areas, surface areas and air rights for municipal utility purposes.

NOW, THEREFORE, THE CITY OF NEW PORT RICHEY, FLORIDA HEREBY ORDAINS:

SECTION I. that the hereinabove described right-of-way be and the same is hereby vacated and henceforth from the time of the adoption of this Ordinance, the said right-of-way be and the same is hereby permanently closed and vacated; provided, however, that there is hereby reserved unto the City of New Port Richey, Florida, and to any person, firm, or corporation which has heretofore been, or in the future may be granted a franchise by the said City, a utility easement in, on, and over the property and that a right of public access is reserved over the full easement.

SECTION II. that no fence or structure may be erected on, over or across the utility easement. The above and foregoing Ordinance was read and approved on first reading at duly convened meeting of the City Council of the City of New Port Richey, Florida this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

The above and foregoing Ordinance was read and approved on second reading at duly convened meeting of the City Council of the City of New Port Richey, Florida this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

ATTEST:

CITY OF NEW PORT RICHEY, FLORIDA

(SEAL)

\_\_\_\_\_  
Judy Meyers, City Clerk

\_\_\_\_\_  
Rob Marlowe, Mayor– Councilmember

APPROVED AS TO LEGAL FORM AND CONTENT

\_\_\_\_\_  
Timothy P. Driscoll, City Attorney

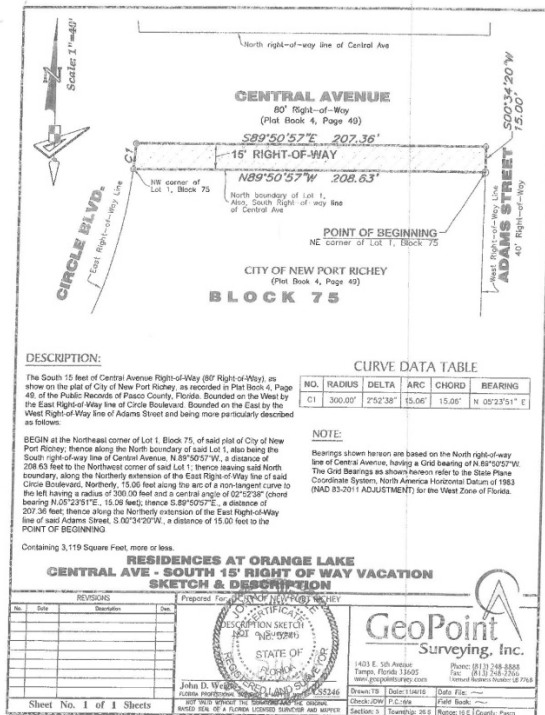
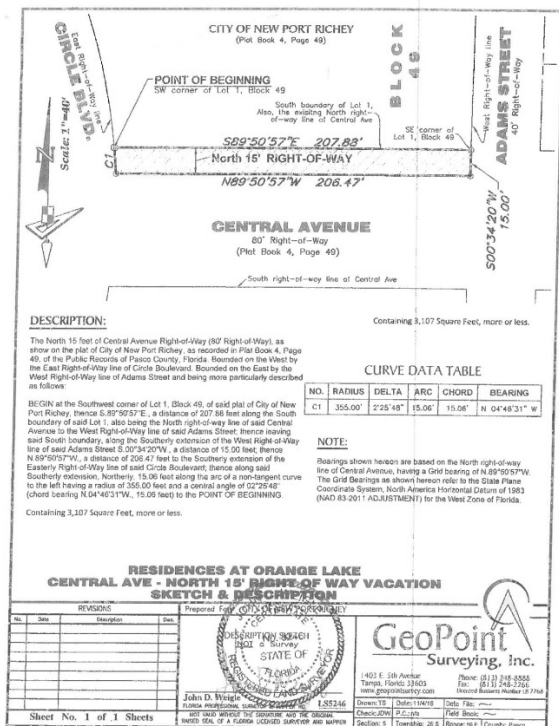


Exhibit A



# LAND USE PLAN AMENDMENT & REZONING APPLICATION

City of New Port Richey  
Development Department  
City Hall, 5919 Main Street, 1<sup>st</sup> Floor  
New Port Richey, FL 34652  
Phone (727) 853-1039 Fax (727) 853-1052

CASE # REZ2017-01

- ☐ Land Use Plan Amendment  
☒ Rezoning  
☐ Send copy to Pasco Govt, if w/in 1mile  
☐ Send copy to Pasco Schools, if residential  
Date Received:

- ☐ Submit original signed and notarized application (plus two copies)  
☐ Submit original signed and sealed survey (plus two copies)  
☐ Submit application fees: \$750 for land use plan amendment;  
\$750 for rezoning (checks made payable to the *City of New Port Richey*)

## PROPERTY OWNERS AND REPRESENTATIVE INFORMATION:

**Current Property Owner(s):** City of New Port Richey

Mailing Address: 5919 Main Street, New Port Richey, FL 34652

*(Street, City, State, Zip Code for all owners)*

Daytime Phone Number: 727-853-1016

Fax Number: 727-853-1052

Email or Alternate Contact Information: mannsd@cityofnewportrichey.org

**Representative(s) of Owner(s):** \_\_\_\_\_

Relationship to Owner(s): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

*(Street, City, State, Zip Code)*

Daytime Phone Number: \_\_\_\_\_

Fax Number: \_\_\_\_\_

Email or Alternate Contact Information: \_\_\_\_\_

Who is the PRIMARY contact for this application? Debbie L. Manns, City Manager

## PROPERTY INFORMATION:

Street Address: 6571 Circle Boulevard

General Location: North and south sides of Central Avenue, east of Circle Boulevard and west of Adams Street and southeast corner of Central Avenue and Adams Street

Size of Site: \_\_\_\_\_ square feet <sup>2.86 (with ROW vacation along Central Avenue)</sup> acres

Legal Description: see attached

Parcel Number(s): 05-26-16-0030-04900-0010; 05-26-16-0030-07500-0030; 05-26-16-0030-07500-0010; 05-26-16-0030-07400-0140

Existing Categories: Zoning District: R-2, MF-14 & Downtown Districts Land Use Category: LMDR, Downtown & Downtown Core Categories

*(For property to be annexed, obtain this information from Pasco County – 727-847-8132 or 727-847-8193)*

Proposed Categories: Zoning District: PDD, Planned Development District (RPD Subcategory) Land Use Category: No change

Existing Use and Size: Parking lot and vacant

*(Existing number of dwelling units or square footage of non-residential use on the property)*

Proposed Use: Apartment development with 82 units (85 permitted)

*(Proposed number of dwelling units or square footage of nonresidential use)*

**CONSISTENCY WITH CONCURRENCY:** The following calculations shall be used to **determine the projected demand** of the proposed project on the applicable public facility/service. The calculations are listed by facility/service type. *(Please fill in blanks.)*

**Potable water** - Adopted level of service (LOS) = 152 gal/day/capita (nonresidential uses included in adopted LOS).

**Residential:** Single-family: 152 gal × 2.12 persons/household × \_\_\_\_\_ units = \_\_\_\_\_ gal/day/capita (demand)  
Multi-family: 152 gal × 1.90 persons/household × 85 units = 24,548 gal/day/capita (demand)

**Commercial:** See Table I in the Land Development Code for estimated water flows: \_\_\_\_\_ gal/day/capita

**Wastewater** - Adopted level of service (LOS) = 114 gal/day/capita (nonresidential uses included in adopted LOS).

**Residential:** Single-family: 114 gal × 2.12 persons/household × \_\_\_\_\_ units = \_\_\_\_\_ gal/day/capita (demand)  
Multi-family: 114 gal × 1.90 persons/household × 85 units = 18,411 gal/day/capita (demand)

**Commercial:** See Table I in the Land Development Code for estimated sewer flows: \_\_\_\_\_ gal/day/capita

**Solid waste** - Adopted level of service (LOS) = 6.3 lbs/day/capita (nonresidential uses included in the adopted LOS).

**Residential:** Single-family: 6.3 lbs × 2.12 persons/household × \_\_\_\_\_ units = \_\_\_\_\_ lbs/day/capita(demand)  
Multi-family: 6.3 lbs × 1.90 persons/household × 85 units = 1,017.45 lbs/day/capita(demand)

**Commercial:** Commercial uses are included in the adopted LOS: \_\_\_\_\_ lbs/day/capita (demand).

**Recreation/open space.** Refer to the New Port Richey Comprehensive Plan for adopted level of service standards.

Single-family: \_\_\_\_\_ units × 2.12 persons/household = \_\_\_\_\_ (population projection)  
Multi-family: 85 units × 1.90 persons/household = 161 (population projection)

**Stormwater Management.** Refer to the Stormwater Management and Erosion Control Policy and Procedures Manual for standards necessary to comply: LOS = 25-year, 24-hour storm event.

**Transportation.** Refer to the New Port Richey Comprehensive Plan for the adopted Level of Service Standards. Refer to the Land Development Code for the **requirements of a Transportation Study.** *(Please attach to this form)*

1. Determine the number of trips generated by the proposed project during the PM peak hour using the most recent edition of the ITE "Trip Generation" report with no adjustments for internal capture or passerby trips.
2. If the total number of trips is equal to or greater than 50 trips, then a transportation study shall be done. The report shall be signed and/or sealed by either a registered professional engineer or a member of the American Institute of Certified Planners.
  - a. **If no study is required, the applicant is required to provide only the existing directional PM peak hour traffic volumes and level of service for the roadways link to which project driveways connect. This information shall include project traffic.**
  - b. The data shall be in conformance with Notes 3a and 3b of "Existing Conditions" below.
3. Existing conditions. The following shall be provided:
  - a. Existing directional PM peak hour traffic volumes and LOS on all collectors and arterials within study area.
  - b. Existing turning movements at the impacted intersection(s) and intersection LOS.

#### NOTE FOR QUASI-JUDICIAL PROCEEDINGS:

I understand the hearing process to review this application is considered quasi-judicial and operates much like a court of law. The Land Development Review Board and City Council members act in a similar capacity as a judge and must govern themselves in accordance with the basics of due process in making decisions. I understand that contact with any of these members about my application should be avoided. I also understand these members have been instructed to avoid all such conversations with applicants or people in opposition to or support of any variance. I further understand that decisions will be made based on evidence and testimony that is presented at scheduled public hearings and not on information gathered outside of these hearings.

**ATTENDANCE AT MEETINGS:**

The applicant or applicant's representative needs to be present at the DRC, LDRB and City Council meetings.

**AUTHORIZATION TO VISIT THE PROPERTY:**

Site visits to the property by City representatives are essential to process this application. The Owner/Applicant, as notarized below, hereby authorizes the City representatives to visit, photograph and post a notice on the property described in this application.

**AUTHORIZATION FOR OWNER'S REPRESENTATIVE(S):**

I \_\_\_\_\_, the **owner**, hereby **authorize** \_\_\_\_\_ **to act as my representative(s)** in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all representations and agreements made by the designated representative.

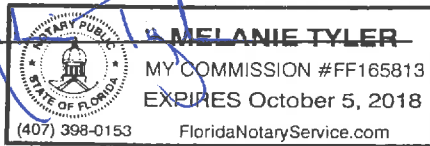
Signature of Current Property Owner(s): \_\_\_\_\_

Date: 3-31-17

Subscribed and sworn to before me this 31 day of March, 2017 who is personally known to me and/or produced \_\_\_\_\_ as identification.

STATE OF FLORIDA, COUNTY OF PASCO

Notary Public \_\_\_\_\_



My Commission Expires: \_\_\_\_\_

**APPLICANT'S AFFIDAVIT:**

I Debbie L. Manns, City Manager, the **owner or authorized representative**, have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted is complete and in all aspects true and correct, to the best of my knowledge.

Signature of Owner or Authorized Representative: \_\_\_\_\_

Date: \_\_\_\_\_

Subscribed and sworn to before me this 31 day of March, 2017 who is personally known to me and/or produced \_\_\_\_\_ as identification.

STATE OF FLORIDA, COUNTY OF PASCO

Notary Public \_\_\_\_\_



My Commission Expires: \_\_\_\_\_



**Table I: Estimated sewage/water flows for Commercial Development**

Type of Establishment Gallons Per Day (GPD)

**Commercial:**

Airports

- (a) Per passenger . . . 5
- (b) Add per employee (per 8 hr. shift) . . . 20

Barber and beauty shops (per chair) . . . 100

Bowling alleys (toilet wastes only per lane) . . . 100

Country club

- (a) Per resident . . . 100
- (b) Per member . . . 25
- (c) Per employee (per 8 hour shift) . . . 20

Dentist offices

- (a) Per wet chair . . . 200
- (b) Per non-wet chair . . . 50

Doctors' offices . . . 250

Factories, exclusive of industrial wastes (gallons per employee per 8 hr. shift)

- (a) No showers provided . . . 20
- (b) Showers provided . . . 35

Food service operations

- (a) Ordinary restaurant (per seat) . . . 50
- (b) 24-hour restaurant (per seat) . . . 75
- (c) Single service articles only (per seat) . . . 25
- (d) Bar and cocktail lounge (per seat) . . . 30
- (e) Drive-in restaurant (per car space) . . . 50
- (f) Carry-out only
  - 1. Per 100 square feet of floor space . . . 50
  - 2. Add per employee (per 8 hr. shift) . . . 20
- (g) Institutions (per meal) . . . 5

Hotel and motels

- (a) Regular (per room)
- (b) Result hotels, camps, cottages (per person) . . . 75
- (c) Add for establishments with self-service laundry facilities (per machine) . . . 400

Office building (per employee per 8 hr shift) . . . 20

Service stations (per water closet and urinal) . . . 250

Shopping centers without food or laundry (per square foot of floor space) . . . 0.1

Stadium, race track, ball parks (per seat) . . . 5

Stores (per square foot of floor space) . . . 0.1

Swimming and bathing facilities, public (per person) . . . 10

Theaters

- (a) Indoor, auditoriums (per seat) . . . 5
- (b) Outdoor, drive-ins (per space) . . . 10

Trailer or mobile home park (per trailer space) . . . 200

Travel trailer or recreational vehicle park

- (a) Travel trailer (overnight), without water and sewer hookup (per trailer space) . . . 75
- (b) Travel trailer (overnight), with water and sewer hookups (per trailer space) . . . 100

**Institutional:**

Churches (per seat) . . . 3

Hospitals (per bed (does not include kitchen wastewater flows) . . . 200

Nursing homes, rest homes (per bed) (does not include kitchen wastewater flows) . . . 100

Parks, public picnic

- (a) With toilets only (per person) . . . 5
- (b) With bathhouses, showers and toilets (per person) . . . 10

Schools (per person)

- (a) Day-type . . . 15
- (b) Add for showers . . . 5
- (c) Add for cafeteria . . . 5
- (d) Add for day school workers . . . 15
- (e) Boarding type . . . 75

Work or construction camps, semi-permanent (per worker) . . . 50"



## PRELIMINARY SITE PLAN APPLICATION

City of New Port Richey  
Development Department  
City Hall, 5919 Main Street, 1<sup>st</sup> Floor  
New Port Richey, FL 34652  
Phone (727) 853-1039\* Fax (727) 853-1052

Case #: PSP\_2017-03  
DRC Date (1) \_\_\_\_\_  
DRC Date (2) \_\_\_\_\_  
DRC Date (3) \_\_\_\_\_  
Date Received: \_\_\_\_\_

- ☐ **Submit 10 complete sets of information** (stapled application with addenda, collated and folded surveys/site plan, etc. (*learn how to fold plans like a pro on our website at [www.cityofnewportrichey.org](http://www.cityofnewportrichey.org)*))
- ☐ Submit application fee \$300 (check made payable to the *City of New Port Richey*)

### Property Owner and Representative Information:

Current Property Owner(s):	City of New Port Richey	Phone:	727-853-1016
Owner Address:	5919 Main Street		
Owner Email Address:	mannsd@cityofnewportrichey.org		
Owner's Representative(s):	Debbie L. Manns	Relationship to Owner:	City Manager
Representative Mailing Address:			
Representative Email Address:		Phone:	
Primary contact: ( <i>This is to whom the City will send all communication regarding this application</i> )		Debbie L. Manns	

### Property Information:

Site Address: 6571 Circle Boulevard	
Legal Description of Subject Property: (*An electronic copy of the legal description, in Word format, is required as part of this application submittal)  See attached	
Parcel Number(s): 05-26-16-0030-04900-0010; 05-26-16-00300-07500-0030; 05-26-16-0030-07500-0010; 05-26-16-0030-07400-0140	
Zoning District ( <i>check with Development Department</i> ): PDD pending Rezoning Application REZ2017-01	Future Land Use Category ( <i>check with Development Department</i> ): LMDR, Downtown & Downtown Core
Existing Use ( <i>Include number of residential units/ and or square footage of non-residential use</i> ):  Parking lot and vacant land	
Proposed Use ( <i>Include number of residential units/ and or square footage of non-residential use</i> ): 82 multi-family units (85 permitted by REZ2017-01) - Residences at Orange Lake	

**Submittal Information:**

**Site Plan Package, including the following information :**( not to exceed 24" x 36") Bind all site plan sheets with survey and architectural elevations into one set.

**Sheet 1: Cover sheet including:**

Index referencing individual sheets included in package
Site plan name
Property owner's name, address, telephone number, email address and designated representative
Architect, landscape architect and engineer's name, address and telephone numbers
Legal description
North arrow
Engineering bar scale
Date(s) prepared and revised
Dimensions
Location map
Utilities providers with names, addresses, phone numbers and websites

**Sheet 2: Survey prepared by registered land surveyor with original signature and seal(One original and nine copies)**

Footprint and size of all existing buildings and structures
Legal description and acreage
Location of all public and private easements and streets within and adjacent to the site
Location of existing fire hydrants

**Sheet 3: Site planshowing (Check with the Development Department to determine the applicability of each item)**

All proposed buildings and structures
All required setbacks including dimensions between buildings
All existing and proposed points of access
All required sight triangles/free vision zones
All parking spaces, driveways, loading areas and vehicular use areas
The definition and location of all refuse collection facilities including screening to be provided
Location of all onsite stormwater management facilities
Location of all outdoor light fixtures
Location of all existing and proposed sidewalks
Location of proposed fire hydrants
Location of all public and private easements and streets within and adjacent to the site
Identification of watercourses or wetlands (include jurisdictional wetlands boundaries and setbacks)

**Sheet 4: Landscape Plan showing:**

Location of trees, tree masses and tree species (include description/location of understory, ground cover;vegetation and wildlife habitats or other environmentally unique areas)
Landscape buffer
Screening of vehicular use areas (minimum three-foot hedge creating continuous screen with trees)
Location of proposed irrigation system and hose bibs
Tree survey and inventory (if proposing to remove any trees) including diameter, tree health, botanical/common name and replacement trees
Depiction (by shading or cross hatching) of required parking lot interior landscape areas

**Sheet 5: Stormwater Plan**

	Location and size of existing public utilities
	Proposed method of water supply and sewage disposal
	Identification of watercourses or wetlands
	Conceptual drainage and utility plan with flow direction and method of disposition
	“Sunshine State One Call” dig information (for location of any utilities in rights-of-way or easements)
	Flood zone and base flood elevation
	Copy of SWFWMD aerial topographic map with site boundaries, contact Public Works for the required format.
	National Pollutant Discharge Elimination System, contact Public Works for the required format.

**Site Data Table for existing, required and proposed development:**(If this is included on site plan, please note below)

	<b>Required</b> <i>(based on zoning standards)</i>	<b>Existing</b> <i>(existing dimensions, conditions)</i>	<b>Proposed</b>
Land area in square feet and acres	1 acre	2.6 acres	2.826 ac (with ROW)
Dwelling units	85 permitted	0	82
Gross floor area devoted to each use	-	-	-
Total number of parking spaces	82 per zoning	-	94
Total number of handicap spaces	6	-	6
Total paved area, including all paved parking spaces & driveways, expressed in square feet and % of paved vehicular area		See site data on plans	See site data on plans
Total land area devoted to parking lot interior landscaping expressed in square feet and % of paved vehicular area		See site data on plans	See site data on plans
Official records book and page numbers of existing utilities	-	-	-
Building and structure heights	45 feet/55 ft (tower)	-	45 feet/55 ft (tower)
Impermeable surface ratio (ISR);	60 % permitted	>60% from previous development	< existing
Floor area ratio (FAR) for all non-residential uses	0	0	0

**Conceptual Architectural Building Elevations (cardinal directions, colors, materials and dimensions of height and base flood elevation)**

**Consistency with Concurrency:** The following calculations shall be used to **determine the projected demand** of the proposed project on the applicable public facility/service. The calculations are listed by facility/service type. *(Please fill in blanks.)*

**Potable Water** - Adopted level of service (LOS) = 152 gal/day/capita (nonresidential uses are included in the adopted LOS).

**Residential:**

**Single-family:**  $152 \text{ gal} \times 2.12 \text{ persons/household} \times \underline{\hspace{2cm}}$  units =  $\underline{\hspace{2cm}}$  gal/day/capita (demand)

**Multi-family:**  $152 \text{ gal} \times 1.90 \text{ persons/household} \times \underline{85}$  units =  $\underline{24,548}$  gal/day/capita (demand)

**Commercial:** See Table I below from the Land Development Code for estimated water/sewage flows.

**Wastewater** - Adopted level of service (LOS) = 114 gal/day/capita (nonresidential uses are included in the adopted LOS).

**Residential:**

**Single-family:**  $114 \text{ gal} \times 2.12 \text{ persons/household} \times \underline{\hspace{2cm}}$  units =  $\underline{\hspace{2cm}}$  gal/day/capita (demand)

**Multi-family:**  $114 \text{ gal} \times 1.90 \text{ persons/household} \times \underline{85}$  units =  $\underline{18,411}$  gal/day/capita (demand)

**Commercial:** See Table I below from the Land Development Code for estimated water/sewage flows.

**Solid Waste** - Adopted level of service (LOS) = 6.3 lbs/day/capita (nonresidential uses are included in the adopted LOS).

**Residential:**

**Single-family:**  $6.3 \text{ lbs} \times 2.12 \text{ persons/household} \times \underline{\hspace{2cm}}$  units =  $\underline{\hspace{2cm}}$  bs/day/capita (demand)

**Multi-family:**  $6.3 \text{ lbs} \times 1.90 \text{ persons/household} \times \underline{85}$  units =  $\underline{1,017.45}$  bs/day/capita (demand)

**Commercial:** See Table I below from the Land Development Code for estimated water/sewage flows.

**Recreation/Open Space** - Refer to the New Port Richey Comprehensive Plan for adopted level of service standards.

**Single-family:**  $\underline{\hspace{2cm}}$  units  $\times 2.12 \text{ persons/household} = \underline{\hspace{2cm}}$  (population projection)

**Multi-family:**  $\underline{85}$  units  $\times 1.90 \text{ persons/household} = \underline{161}$  (population projection)

Sites over five acres in area and zoned MF-30 District shall provide five percent of the total net acreage of the development for recreational purposes. Refer to Section 7.06.07 of the Land Development Code.

**Stormwater Management.** Refer to the Stormwater Management and Erosion Control Policy and Procedures Manual for standards necessary to comply: LOS = 25-year, 24-hour storm event.

**Transportation.** Refer to the New Port Richey Comprehensive Plan for the adopted Level of Service Standards. Refer to the Land Development Code for the **requirements of a Transportation Study**.

1. Determine the number of trips generated by the proposed project during the PM PEAK hour using the most recent edition of the ITE "Trip Generation" report with no adjustments for internal capture or passerby trips. **Include your calculation(s) here:** 49 PM peak trips.
2. If the total number of trips is equal to or greater than 50 trips, then a transportation study shall be prepared. The report shall be signed and/or sealed by either a registered professional engineer or a member of the American Institute of Certified Planners.
  - a. If no study is required, the applicant is required to provide only the existing directional PM PEAK hour traffic volumes and level of service for the roadways link to which project driveways connect.  
This information shall include project traffic. **Provide this information here:** No LOS data for local roads.
  - b. The data shall be in conformance with Notes 3a and 3b of "Existing Conditions" contained in the Land Development Code.

3. a. Existing directional PM PEAK hour traffic volumes and LOS on all existing collectors/arterials in study area. **Provide information here:** No LOS data for local roads.
- b. Existing turning movement volumes at the impacted intersection(s) and intersection LOS.

**Process:**

A pre-application meeting will be held with City Staff to ensure the application is complete. **Cases that are not complete by the application deadline, may not be processed for the following DRC meeting.** Once deemed complete, the application will be scheduled for review by the DRC. The DRC will approve, approve with conditions, deny or continue the application. Changes may be suggested and additional reviews by the DRC may be necessary.

**Attendance at meetings:**

The applicant or applicant's representative shall attend all Development Review Committee meetings and other meetings, as applicable.

**Authorization to visit the property:**

Site visits to the property by City representatives are essential to process this application. The Owner/Applicant, as notarized below, hereby authorizes the City representatives to visit, photograph and post a notice on the property described in this application.

**Authorization for owner's representative(s):**

I \_\_\_\_\_, the **owner**, hereby **authorize**

\_\_\_\_\_ **to act as my representative(s)** in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all representations and agreements made by the designated representative.

Signature of Current Property Owner(s): \_\_\_\_\_

\_\_\_\_\_

Date: \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

who is personally known to me and/or produced \_\_\_\_\_ as identification.

STATE OF FLORIDA, COUNTY OF PASCO

Notary Public \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

**Applicant's Affidavit:**

I Debbie L. Manns, **the owner or authorized representative**, certify that I have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted is complete and in all aspects true and correct, to the best of my knowledge. It is also acknowledged that the filing of this application does not constitute automatic approval of the request and, further, if the request is approved, I will obtain all necessary permits to comply with all applicable orders, codes, conditions, and rules and regulations pertaining to the use of the subject property. (Applications which are filed by corporations must bear the seal of the corporation over the signature of an officer authorized to act on behalf of the corporation.)

Signature of Owner or Authorized Representative: 

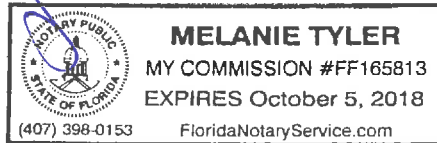
Date: 3-29-17

Subscribed and sworn to before me this 31 day of March, 2017

who is personally known to me and/or produced \_\_\_\_\_ as identification.

STATE OF FLORIDA, COUNTY OF PASCO

Notary Public 



My Commission Expires: \_\_\_\_\_



Table I: Estimated Sewage/Water Flows for Commercial Development		
Type of Establishment		Gallons Per Day (GPD)
Airports	Per Passenger	5
	Add Per Employee (per 8 hour shift)	20
Barber and Beauty Shops	Per Chair	100
Bowling Alleys	Toilet Wastes Only per Lane	100
County Club	Per Resident	100
	Per Member	25
	Per Employee (per 8 hour shift)	20
Dentist Office	Per Wet Chair	200
	Per Non-Wet Chair	50
Doctor's Office	All Types	250
	All Types	250
Factories - exclusive of industrial wastes	No Showers Provided (gallons per employee per 8 hour shift)	20
	Showers Provided	35
Food Service Operations	Ordinary Restaurant (per seat)	50
	24-hour Restaurant (per seat)	75
	Single Service Articles Only (per seat)	25
	Bar and Cocktail Lounge (per seat)	30
	Drive-In Restaurant (per car space)	50
	Carry-Out Only	50
	Per 100 Square Feet of Floor Space	50
	Add Per Employee (per 8 hour shift)	20
Hotels and Motels	Regular (per room)	
	Result Hotels, Camps, Cottages (per person)	75
	Add For Self-Service Laundry Facilities (per machine)	400
Office Building	Per Employee (per 8 hour shift)	20
Service Station	Per Water Closet and Urinal	250
Shopping Center - Without Food or Laundry	Per Square Foot of Floor Space	0.1
Stadium, Race Track, Ball Parks	Per Seat	5
Stores	Per Square Foot of Floor Space	0.1
Swimming and Bathing Facilities - Public	Per Person	10
Theaters	Indoor, Auditoriums (per seat)	5
	Outdoor, Drive-Ins (per space)	10
Trailer or Mobile Home Park	Per Trailer Space	200
Travel Trailer or Recreational Vehicle Park	Overnight w/o water and sewer hook-up (per trailer space)	75
	Overnight w/o water and sewer hook-up (per trailer space)	75
	Overnight with water and sewer hook-up (per trailer space)	100

Table I: Estimated Sewage/Water Flows for Institutional Development		
Type of Establishment		Gallons Per Day (GPD)
Churches	Per Seat	3
Hospitals (does not include kitchen wastewater flows)	Per Bed	200
Nursing Homes/Rest Homes (does not include kitchen wastewater flow)	Per Bed	100
	Per Bed	100
Parks - Public Picnic	With Toilets Only (per person)	5
	With Bathhouses, Showers and Toilets (per person)	10
Schools (per person)	Day-Type	15
	Add For Showers	5
	Add For Cafeteria	5
	Add For Day School Workers	15
	Boarding Type	75
Work or Construction Camps - Semi Permanent	Per Worker	50









Portion of R.O.W to be vacated

Portion of R.O.W to be vacated

- Legend**
- | Zoning   |  |
|----------|--|
| MF-10    |  |
| MF-14    |  |
| MF-2     |  |
| MF-30    |  |
| MHP      |  |
| OFFICE   |  |
| PDD      |  |
| R-1      |  |
| R-2      |  |
| R-2A     |  |
| R-3      |  |
| R/O      |  |
| C-1      |  |
| C-2      |  |
| COMM     |  |
| CR-3     |  |
| DOWNTWN  |  |
| GOVT     |  |
| HWY COMM |  |
| INDUST   |  |
| LB-3     |  |
| MF-1     |  |

# Residences at Orange Lake - Proposed Zoning

CONSULTANTS

CIVIL ENGINEER  
COASTAL DESIGN CONSULTANTS, INC.  
7026 LITTLE ROAD  
NEW PORT RICHEY, FLORIDA 34654  
(727) 849-8010  
EMAIL: INFO@COASTALDESIGNCONSULTANTS.COM

SURVEY SERVICES:  
GeoPoint Surveying, INC.  
1403 East 5th Avenue  
TAMPA, FL 33606-5021  
(813) 246-8888  
EMAIL: JWEIGLE@GEOPPOINTSURVEY.COM

UTILITY SUPPLIERS

BRIGHT HOUSE NETWORKS- CITRUS  
MIKE KIKER  
30432 SR 54  
WESLEY CHAPEL, FL 33543  
813-852-0522 Ext: 84263

CLEARWATER GAS SYSTEMS  
JORGE HERNANDEZ  
400 N MYRTLE AVE  
CLEARWATER, FL 33755  
727-562-4900 Ext: 7423

DUKE ENERGY  
MEISHA BARNARD  
4359 SE MARICAMP RD  
OCALA, FL 34480  
352-694-8521

NEW PORT RICHEY PUBLIC WORKS  
(POTABLE WATER, RECLAIMED WATER,  
SANITARY SEWER AND STORM WATER  
UTILITIES)  
ROBERT RIVERA  
PUBLIC WORKS DIRECTOR CITY OF NEW PORT  
RICHEY  
727-841-4556

FRONTIER COMMUNICATIONS  
CARLOS BATES  
3712 W. WALNUT ST  
TAMPA, FL 33607  
941-906-6709



THE DESIGN AND IDEAS INCORPORATED HEREIN, AS AN  
INSTRUMENT OF PROFESSIONAL SERVICE, IS THE  
PROPERTY OF COASTAL DESIGN CONSULTANTS, INC.,  
(CDC) AND IS NOT TO BE USED FOR ANY OTHER PROJECT  
WITHOUT WRITTEN AUTHORIZATION FROM CDC.

PRELIMINARY / CONSTRUCTION PLANS  
AND STORMWATER MANAGEMENT PLAN

FOR

RESIDENCES  
AT ORANGE LAKE

6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FLORIDA  
PIN: 05-26-16-0030-04900-0010  
PIN: 05-26-16-0030-07500-0010  
PIN: 05-26-16-0030-07400-0140  
PIN: 05-26-16-0030-07500-0030

DEVELOPER:  
PEOPLE PLACES, LLC  
3104 ALACHUA PLACE  
NEW PORT RICHEY, FL, 34655

PREPARED BY:



7026 LITTLE ROAD  
NEW PORT RICHEY, FL 34654  
PH: 727-849-8010  
FAX: 727-849-8020  
C. A. # 00009572

FILE COPY

RECEIVED

MAR 22 2017

DEVELOPMENT DEPARTMENT  
CITY OF NEW PORT RICHEY

Approved by DRC 3-23-17

PROJECT NUMBER: 16021  
DATE: NOVEMBER, 2016

LOCATION MAP



SHEET INDEX

- C0.0 COVER SHEET
- C1.0 GENERAL NOTES
- C2.0 DEMOLITION PLAN
- C2.1 DEMOLITION PLAN
- C3.0 PRELIMINARY SITE PLAN
- C4.0 SIGNAGE AND HORIZONTAL CONTROL PLAN
- C4.1 SIGNAGE AND HORIZONTAL CONTROL PLAN
- C5.0 PAVING, GRADING AND DRAINAGE PLAN
- C5.1 PAVING, GRADING AND DRAINAGE PLAN
- C6.0 UTILITY PLAN
- C6.1 UTILITY PLAN
- C7.0 SITE DETAILS
- C8.0 UTILITY DETAILS
- D1 NATIONAL POLLUTION DISCHARGE  
ELIMINATION SYSTEM EROSION CONTROL NOTES
- D2 NATIONAL POLLUTANT DISCHARGE ELIMINATION  
SYSTEM DETAILS
- D3 PRE & POST DEVELOPMENT PLAN
- LA 1 - LA 5 LANDSCAPE PLANS
- I 101 - I 102 IRRIGATION PLANS

"THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH  
THE CURRENT VERSION OF THE "MANUAL UNIFORM MINIMUM  
STANDARDS FOR HIGHWAYS, STATE OF FLORIDA" AND ARE IN  
COMPLIANCE WITH THE STANDARDS THEREIN EXCEPT AS  
NOTED ON THE PLANS. ANY DEVIATIONS NOTED ON THE PLANS  
SUBSTANTIALLY COMPLY WITH THE INTENT OF THE STANDARDS."

ENGINEER : GREGORY B. WEGENER, P.E.

PROFESSIONAL ENGINEER FLORIDA REGISTRATION NO. 54876

AGENCY APPROVALS

AGENCY	PERMIT TYPE	DATE SUBM.	DATE APP.	PERMIT NO.	EXP. DATE

REVISIONS

Designed By: G.B.W.   Drawn By: A.L.G.			
DATE	REV. BY	REV. NO.	REVISION



## TECHNICAL SPECIFICATIONS

ALL SITE AND UTILITY WORK PERFORMED ON THIS PROJECT SHALL BE GOVERNED BY APPLICABLE PROVISIONS OF NEW PORT RICHEY AND THE HILLSBORO PUBLIC WORKS DEPARTMENT. THE PROJECT SHALL BE CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED CONSTRUCTION DRAWINGS & SPECIFICATIONS DESCRIBED HEREIN, AND WITH THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE OF STREETS AND HIGHWAYS, STATE OF FLORIDA, IN THE EVENT THAT ANY ITEM IS NOT ADDRESSED IN THESE PLANS OR THE SPECIFICATIONS, THEN THE APPLICABLE PROVISIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION AND SUPPLEMENTS THEREON SHALL APPLY, EXCEPT AS OTHERWISE SPECIFICALLY APPROVED BY THE OWNER AND/OR THE ENGINEER OF RECORD.

THE FOLLOWING ARE INCORPORATED HEREIN BY REFERENCE:

- NEW PORT RICHEY PUBLIC WORKS DEPARTMENT FOR CONSTRUCTION OF ROADS, STORM DRAINAGE AND UTILITIES.
- NEW PORT RICHEY PUBLIC WORKS DEPARTMENT STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER AND RECLAIMED WATER FACILITIES.
- FLORIDA DEPARTMENT OF TRANSPORTATION "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" 2011.
- FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" 2010.
- FLORIDA DEPARTMENT OF TRANSPORTATION "ROADWAY AND TRAFFIC DESIGN STANDARDS" 2010-2011.
- FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)" 2003.

## GENERAL CONSTRUCTION NOTES

- PLACEMENT AREAS REFERENCED TO THE NORTH AMERICAN DATUM OF 1988 (NAD83) OR NAD83, ELEVATION BASE, ALL SURVEY DATA WAS PROVIDED BY GEOPOINT SURVEYING, INC.
- LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK THE PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
- THE CONTRACTOR IS CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES, WHETHER OR NOT SHOWN, ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES, ACTUAL FIELD LOCATIONS FROM THE RESPECTIVE UTILITY COMPANY AS HOURS BEFORE BEGINNING WORK.

SUNSHINE STATE ONE CALL — 1-800-432-4770

- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE RELEVANT AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS.
- EXISTING CONSTRUCTION:
  - ALL EXISTING CONSTRUCTION SHALL BE PAID FOR BY PLAN QUANTITIES.
  - ALL FILL BUILT FOR CONSTRUCTION EITHER REQUIRED OR IN EXCESS TO THE PROJECT IS THE PROPERTY OF THE OWNER AND SHALL BE UTILIZED FOR THE PROJECT OR STOCKPILED ON-SITE AS DIRECTED BY THE OWNER AND / OR ENGINEER OF RECORD.
- THE CONTRACTOR SHALL SUBMIT FOR APPROVAL TO THE OWNER'S ENGINEER, SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS WHICH ARE FOR THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE. ALL SHOP DRAWINGS ARE TO BE REVIEWED AND APPROVED BY THE CONTRACTOR PRIOR TO SUBMITAL TO THE OWNER'S ENGINEER.
- AT LEAST FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES AND SUPPLY THE ENGINEER WITH THE FOLLOWING INFORMATION: THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER, ON WITHOUT AGENCY INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- BACKFILL MATERIAL SHALL BE SOLIDLY TAMPED ABOVE PIPES IN 6" LAYERS UP TO A LEVEL OF AT LEAST ONE FOOT ABOVE THE TOP OF THE PIPE. IN AREAS WHERE BACKFILL SHALL BE COMPACTED TO 100% MAXIMUM DENSITY AS DETERMINED BY A.A.S.H.T.O. T-99.

- SITE WORK CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 3,000 P.S.I. IN 28 DAYS, UNLESS OTHERWISE NOTED.

- ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION IS TO BE ALLOWED.

- ALL DISTURBED AREAS ARE TO BE SOODED TO FOOT STANDARDS UNLESS OTHERWISE NOTED. AREAS CALLED OUT IN THE PLANS TO BE SEEDED AND MULCHED, THE FOLLOWING SHALL APPLY:
  - ALL AREAS WITH SLOPES EQUAL TO OR GREATER THAN 4:1 OR WITHIN 2' OF ANY PAVED OR CURB SHALL BE SOODED. ALL SOODED SLOPES STEEPER THAN 4:1 SHALL BE INSTALLED WITH 800 P.E.S.
  - ALL AREAS WITHIN 6' OF ANY DRAINAGE STRUCTURE OR WITHIN CITY/COUNTY AND/OR FOOT ROAD SHALL BE SOODED.

- ALL SOODED AND SEEDING / MULCHED AREAS SHALL BE MAINTAINED UNTIL A SATISFACTORY STAND OF GRASS, ACCEPTABLE TO THE REGULATORY AGENCY AND ENGINEER OF RECORD, ANY WASHOUTS, RESEEDING, ROZINGING AND GRASSING WORK, AND OTHER EROSION WORK REQUIRED, WILL BE PERFORMED BY THE CONTRACTOR, UNTIL THE SYSTEM IS ACCEPTED FOR MAINTENANCE BY THE REGULATORY AGENCY AND ENGINEER OF RECORD.
- ALL SOODED, SEEDING AND MULCHING SHALL INCLUDE WATERING AND FERTILIZATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE AREAS UNTIL THE PROJECT IS COMPLETED AND ACCEPTED BY REGULATORY AGENCIES, THE ENGINEER OF RECORD, AND THE OWNER.

- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED PLANS AND PERMITS AT THE CONSTRUCTION SITE.

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY AT ALL TIMES TO CONTROL FUGITIVE DUST FROM THE CONSTRUCTION SITE. THE CONTRACTOR IS ADVISED THAT THE USE OF A WATER TRUCK OR TRAILER MAY BE REQUIRED FOR THE PURPOSE OF KEEPING THE SOIL MOIST TO CONTROL FUGITIVE DUST.

- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRAIL PITS, OR HISTORIC BUILDING FOUNDATIONS, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICE) AND THE LOCAL GOVERNING CITY AND/OR COUNTY DEPARTMENT SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE RESOURCES FOUND ON SITE.

- DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED BY THE CONTRACTOR. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY O.S.H.A. IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.

- ALL REQUIRED TEST REPORTS SHALL BE SUPPLIED BY CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER OF RECORD. THE TESTING COMPANY SHALL SUPPLY THE ENGINEER WITH A COPY OF ALL COMPARISON TESTS AND ASPHALT TESTING RESULTS. THE TESTING COMPANY SHALL CERTIFY TO THE ENGINEER OF RECORD, IN WRITING THAT ALL TESTING REQUIREMENTS REQUIRED BY THE LOCAL REGULATORY AGENCY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.), FOR THE IMPROVEMENTS AS REQUIRED BY THE ENGINEERING CONSTRUCTION DRAWINGS, HAVE BEEN SATISFIED.

## PAVING, GRADING & DRAINAGE NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING ADJACENT COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. DE-WATERING SHALL BE USED AS REQUIRED.
- IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PREVENT THE ROOT SYSTEM OF TREES SHOWN TO BE SAVED. THE CONTRACTOR IS TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION CHANGES.
- THE CONTRACTOR IS TO PROVIDE A 1/2" BITUMINOUS DOWNSLOPE JOINT MATERIAL WITH SEALER, AT ADJUNCT OF CONCRETE AND ANY STRUCTURE.
- ALL PAVEMENT MARKINGS SHALL BE MADE WITH THERMOPLASTIC, EXCEPT PARKING STALL DELINEATIONS, WHICH MAY BE TRAFFIC WHITE PAINT. PARKING STALL DELINEATIONS SHALL BE 4" WIDE, 10" HIGH.
- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS II (A.S.T.M. C-76) UNLESS OTHERWISE NOTED ON PLANS.
- P.V.C. STORM PIPES 12" AND SMALLER SHALL CONFORM TO A.N.S.I. C-900, CLASS 150 STANDARDS UNLESS OTHERWISE NOTED.
- PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO THE CENTER OF DRAINAGE STRUCTURES. PIPE LENGTHS SHOWN, WHERE INTERED END CURBS OF PIPE, SHALL BE INCLUDED IN THE UNIT COST OF THE INTERED END.
- ALL DIMENSIONS SHOWN WHERE DITCH IS APPLICABLE ARE TO THE EDGE OF PAVEMENT.
- ALL DRAINAGE STRUCTURE GRATES AND COVERS WITHIN TRAFFIC AREAS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
- WHEN CONSTRUCTION IS COMPLETED, THE RETENTION/DETENTION AREAS WILL BE RESHED, CLEANED OF SILT, MUD AND DEBRIS AND SOODED AND / OR SEED / MULCH IN ACCORDANCE TO THE PLANS.
- SOO SHALL BE SEEDS AS NECESSARY TO PREVENT DECOMPOSITION.
- THE CONTRACTOR SHALL PROVIDE CERTIFIED RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW FINAL DIMENSIONS, INSERTS AND LOCATIONS OF ALL EXISTING UTILITIES INCLUDING THE STORM DRAINAGE STRUCTURES, BONES & SINKS. THE CONTRACTOR SHALL PROVIDE TEN COPIES OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER FOR THE PURPOSE OF CONTINUED STORM DRAINAGE INSPECTION.
- ALL DRAINAGE PIPE SHALL BE CUT FLUSH WITH THE INTERIOR WALLS OF EACH DRAINAGE STRUCTURE AND GRADUATED TO A SMOOTH FINISH.

## PAVING, GRADING & DRAINAGE TESTING & INSPECTION REQUIREMENTS

- THE STORM DRAINAGE PAVING AND FILTRATION SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. THE CONTRACTOR IS TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION.
- THE CONTRACTOR SHALL MAINTAIN THE STORM DRAINAGE SYSTEMS UNTIL FINAL ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE APPLICABLE TESTING WITH THE TESTING COMPANY. UPON COMPLETION OF THE WORK, THE TESTING COMPANY MUST SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT TESTING REQUIREMENTS HAVE BEEN MET.

## CLEARING AND GRUBBING NOTES

- CLEARING AND GRUBBING FOR PURPOSES OF THE PROJECT DESCRIBED HEREIN SHALL BE IN ACCORDANCE WITH SECTION 110 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" 2010.
- ALL VEGETATION, STRUCTURES, MATERIALS DEBRIS AND FILL UNDESIRABLE FOR CONSTRUCTION AND OF NO SAVAGE VALUE TO THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF BY THE CONTRACTOR.
- EXISTING PAVEMENT SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR AT HIS EXPENSE. THE CONTRACTOR MAY (AT HIS OPTION) USE EXISTING UNDERCUT BRICK MATERIAL AS A STABILIZER ADJUNCT TO THE BASES, AT NO TIME WILL EXISTING BASE MATERIAL BE INCORPORATED WITHIN THE NEW BASE.
- PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY'S TREE PROTECTION AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREES SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER.
- ALL DELETION SUBSTANCE MATERIAL (E.G. MUCK, PEAT, BUNKER DEBRIS), IS TO BE DEPOSITED IN ACCORDANCE WITH THESE PLANS, OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETION MATERIAL IS TO BE REMOVED FROM THE SITE ON AN OTHERWISE DIRECTED BY THE OWNER. DESIGNATED AREAS ARE TO BE STOCKPILED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE, AS NECESSARY FOR CONSTRUCTION, INCLUDING AND SUPPLY THE MATERIALS TO BE SOODED FOLLOWING CONSTRUCTION.
- THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING SHALL BE STOCKPILED AT A SITE DESIGNATED BY THE OWNER UNLESS OTHERWISE DIRECTED BY THE OWNER.
- ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR REMOVAL ANY EXISTING STRUCTURES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE AND WILL BE RESPONSIBLE FOR THE REMOVAL AND REMOVAL OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITH THE NEW FACILITIES. SHOULD ANY DISCOVERIES OCCUR WITH THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING THE OWNER AND DISCUSSING A CORRECTION OF THE PLANS PRIOR TO REMOVAL.
- NO ON-SITE BURNING SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE LOCAL FIRE MARSHAL.

## EROSION CONTROL NOTES

- DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRIPS SUCH AS SEDIMENT BAY, SOO, STONE, ETC., WHICH SHALL BE MAINTAINED AND MOVED AS REQUIRED BY CONSTRUCTION PROGRESS.
- ALL EROSION AND SEDIMENT CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (MAY BAYES OR SEDIMENT CURBING) TO PREVENT SEDIMENT OF ADJACENT PROPERTY, STREETS, STORM SEWERS, MOTORWAYS AND EXISTING WETLANDS. IN ADDITION, THE CONTRACTOR SHALL PLACE STORM, MUD OR OTHER SUITABLE MATERIAL ON THE GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.

## DEWATERING PLAN / NOTES

- THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING GUIDELINES WHEN CONSTRUCTION ACTIVITIES REQUIRE DEWATERING:
  - DEWATERING ACTIVITIES SHALL BE CONTAINED WITHIN THE PROJECT AREA.
  - THE PROPOSED DRAINAGE RETENTION AREAS CAN BE USED AS TEMPORARY SETTLING AREAS FOR DEWATERING ACTIVITIES. THE PROPOSED DRAINAGE RETENTION AREAS SHALL BE CONSTRUCTED TO A SUFFICIENT SIZE AND DEPTH TO RECEIVE WATER FROM DEWATERING ACTIVITIES. IF AT ANY TIME SEDIMENT OF WATER WITHIN THE RETENTION AREA APPROACHES 8-INCHES OF THE PROPOSED POND TOP-OF-SWAK, DEWATERING ACTIVITIES SHALL STOP UNTIL THE RETENTION VOLUME HAS INCREASED.
  - SHEET PILE WALLS, SLURRY WALLS, OR OTHER MEANS OF LIMITING THE DRAIN OF THE WATER TABLE DRAINAGE BEYOND THE PROJECT AREA, SHALL BE IMPLEMENTED.
  - WATER DISCHARGE FROM SETTLING AREAS SHALL BE CLEAN AND FREE OF ANY SILT, SILT BARRIERS (E.G. SILT FENCE, WY BAYES, ROCK BAGS OR ANY COMBINATION NECESSARY TO REMOVE SEDIMENTS PRIOR TO DISCHARGE) SHALL BE INSTALLED AND MAINTAINED UNTIL ALL DEWATERING ACTIVITIES ARE COMPLETE.
  - AT NO TIME SHALL DISCHARGE FROM THE DEWATERING ACTIVITIES BE DIRECTED IN A MANNER THAT WOULD IMPACT AN EXISTING WETLAND, LAKE OR RIVER.
  - DEWATERING ACTIVITIES SHALL BE LIMITED TO TIME PERIODS THAT CONSTRUCTION ACTIVITIES REQUIRED. DEWATERING ALL IMPLEMENTED DEWATERING INFRASTRUCTURE, EQUIPMENT, ETC. SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.

## GENERAL UTILITY NOTES

- NO CONNECTION TO THE EXISTING UTILITY LINES SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE LOCAL GOVERNING UTILITY DEPARTMENT.
- ALL AREAS DISTURBED BY THE CONSTRUCTION SHALL BE REEDED WITH DRAIN AND / OR INCH EXISTING GRASS TYPE.
- ALL UTILITY LINES SHALL HAVE AN "EARLY WARNING" PROTECTION TAPE INSTALLED CONTINUOUSLY ALONG THE PIPE ALIGNMENT. IN THE CASE OF GRAVITY SEWERS, THE TAPE SHALL BE REEDED TO EACH MANHOLE. THE PROTECTION TAPE SHALL BE REEDED DURING BACKFILL AND SHALL BE REEDED DURING BACKFILL. THE TAPE SHALL HAVE A MINIMUM DETECTABLE STIFFNESS BETWEEN 2 LAYERS OF POLYETHYLENE, 2" WIDE STRIPPING WITH A THICKNESS OF 5.0 MILS. (BLUE TAPE) FOR WATER LINES, THE TAPE SHALL BE CONTINUOUSLY MARKED "CAUTION WATER LINE BELOW". (GREEN TAPE) FOR FORCE MAINS, THE TAPE SHALL BE CONTINUOUSLY MARKED "CAUTION SEWER MAIN BELOW". (GREEN TAPE) FOR SANITARY SEWER LINES, THE TAPE SHALL BE CONTINUOUSLY MARKED "CAUTION SEWER MAIN BELOW". (PURPLE TAPE) FOR RECLAIMED WATER LINES, THE TAPE SHALL BE CONTINUOUSLY MARKED "CAUTION RECLAIMED WATER LINE BELOW".
- THE CONTRACTOR IS REQUIRED THAT THE LOCATION OF EXISTING UNDERGROUNDS, WATER MAINS AND APPROXIMATE, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ACTUAL FIELD LOCATIONS FROM THE RESPECTIVE UTILITY COMPANY 48 HOURS BEFORE BEGINNING ANY WORK. SURVEYING STATE CALL — 1-800-432-4770.
- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DOCUMENTS REFERENCED HEREIN, ANY METHOD, PROCEDURE, STANDARD, EQUIPMENT OR MATERIALS WHICH ARE NOT COVERED OR SPECIFIED BY THE APPLICABLE PROVISIONS OF THE GOVERNING MANUALLY WATER/SEWER STANDARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND F.D.O.T. UTILITIES SPECIFICATIONS, THE MOST STRINGENT SHALL APPLY.
- ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
- UNLESS OTHERWISE NOTED, ALL GROUND WELLS ARE TO BE ADVISORY BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.

## WATER/SEWER CLEARANCE REQUIREMENTS:

- VERTICAL CLEARANCE AT CROSSINGS:
  - UNDERGROUNDS, STORM SEWERS AND STRUCTURES, RECLAIMED WATER MAINS, OR FORCE MAINS CROSSING WATER MAINS SHALL BE AT LEAST A MINIMUM VERTICAL CLEARANCE OF 12 INCHES BETWEEN THE TOP OF THE LOWER PIPE AND THE BOTTOM OF THE UPPER PIPE. THE CROSSING SHALL BE APPROVED BY THE SENIOR JOINTS AND WATER JOINTS WILL BE ELIGIBLE FROM THE POINT OF CROSSING WITH NO LESS THAN 10 FEET BETWEEN THE SENIOR JOINTS AND THE MINIMUM 12 INCH SEPARATION CANNOT BE MAINTAINED, ONE OF THE FOLLOWING METHODS OF PROTECTION SHALL BE USED:
    - THE PROPOSED PIPE SHALL BE CONSTRUCTED OF PRESSURE RATED PVC PIPE (MEETING THE A.N.S.I. C-900 OR C-905 SPECIFICATIONS) AND SHALL BE PRESSURE TESTED AT 150 PSI TO ASSURE TIGHTNESS PRIOR TO BACKFILLING.
    - IF EITHER THE WATER MAIN OR THE OTHER PIPE SHALL BE EXPOSED IN A WETTED JOINT COVER PIPE, THE COVER PIPE SHALL BE OF MATERIALS APPROVED BY THE F.D.O.T. FOR USE IN WATER MAIN CONSTRUCTION.
    - USE WELDED, FLARED OR OTHERWISE REINFORCED JOINTS FOR EITHER THE WATER MAIN OR OTHER PIPELINE.
    - USE OF PIPE OR CHANGING PIPE, HAVING HIGH IMPACT STRENGTH (E.G. HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE).
    - UNDERGROUND WATER MAINS SHALL BE A HORIZONTAL, DEVIANCE OF AT LEAST THREE (3) FEET, AND PREFERABLY TEN (10) FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GROUND OR PRESSURE-TYPE SANITARY SEWER, UNDERGROUND FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER OR REGULATED LINES THAT IS OF CHAPTER 62-105, F.A.C. THE MINIMUM VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY SEWER SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAD AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
    - UNDERGROUND WATER MAINS SHALL BE A HORIZONTAL, DEVIANCE OF AT LEAST TEN (10) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL OTHER ANY EXISTING OR PROPOSED TOWN-WIDE SEWER TREATMENT AND DISPOSAL SYSTEMS AS SET FORTH IN SECTION 300.000, F.S., AND RULE 62C-4.002, F.A.C.
- VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, MAINTAINED OR STORM DRAINAGE, FORCE MAINS, AND RECLAIMED WATER LINES:
  - UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GROUND OR LOCAL-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAD TO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX (6) INCHES, AND PREFERABLY TEN (10) INCHES, ABOVE OR AT LEAST TEN (10) INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PERMISSIBLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
  - UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, UNDERGROUND OR STORM DRAINAGE FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAD TO THE OUTSIDE OF THE WATER MAIN IS AT LEAST TEN (10) INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PERMISSIBLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- IF AT THE UTILITY CROSSING DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE EXPOSED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN IS AT LEAST SIX (6) INCHES ABOVE OR BELOW THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSING, THE PIPE SHALL BE EXPOSED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN LOCAL-TYPE SANITARY SEWERS, STORM SEWERS, UNDERGROUND FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER. UNDER PART II OF CHAPTER 62-105, F.A.C., AND AT LEAST TEN (10) FEET FROM ALL JOINTS IN SANITARY SEWERS, UNDERGROUND FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER. UNDER PART II OF CHAPTER 62-105, F.A.C.

- HORIZONTAL SEPARATION BETWEEN PARALLEL LINES:
  - SANITARY SEWERS, STORM SEWERS AND STRUCTURES, RECLAIMED WATER MAINS, OR FORCE MAINS SHALL BE INSTALLED AT LEAST 6 FEET FROM ANY EXISTING OR PROPOSED TOWN-WIDE SEWER TREATMENT AND DISPOSAL SYSTEMS AS SET FORTH IN SECTION 300.000, F.S., AND RULE 62C-4.002, F.A.C.

- SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, MAINTAINED OR STORM DRAINAGE, FORCE MAINS, AND RECLAIMED WATER LINES:
  - NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE.
  - A WATER MAIN SHALL NOT BE CONSTRUCTED OR ADJUNCT TO PASS THROUGH, OR COME INTO CONTACT WITH ANY PART OF A STORM SEWER MANHOLE OR BUILT STRUCTURE, WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY DESIRABLE TO SEPARATE WITH THIS REQUIREMENT THE WATER MAIN SHALL BE CONSTRUCTED WITH A CONFLICT MANHOLE AS FOLLOWS:
    - EACH WATER MAIN PASSING THROUGH A CONFLICT MANHOLE SHALL HAVE A REMEDIAL WEDGED JOINT ON EACH SIDE OF THE MANHOLE TO ACCOMMODATE DIFFERENTIAL SETTLING BETWEEN THE MAIN AND THE MANHOLE.
    - WITHIN EACH CONFLICT MANHOLE, THE WATER MAIN PASSING THROUGH THE MANHOLE SHALL BE INSTALLED IN A WEDGED JOINT COVER PIPE HAVING HIGH IMPACT STRENGTH (E.G. HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE).
    - IF EACH CONFLICT MANHOLE SHALL HAVE AN ACCESS OPENING, AND SHALL BE SEED, TO ALLOW FOR EASY CLEANING OF THE MANHOLE.
    - GRUBBING SHALL BE REQUIRED AT ALL STORM SEWER INLETS UPSTREAM OF EACH CONFLICT MANHOLE TO PREVENT LARGE OBJECTS FROM ENTERING THE MANHOLE.

- NOTES: WHEN IT IS IMPROBABLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATIONS AS SPECIFIED ABOVE, THE F.D.O.T. MAY ALLOW DEVIATION ON A ONE-OF-ONE BASIS AS SUPPORTED BY DATA FROM THE SENIOR ENGINEER, APPROVAL FOR THE DEVIATION MUST BE OBTAINED FROM THE PROJECT ENGINEER AND THE F.D.O.T. PRIOR TO CONSTRUCTION.

## REUSE SYSTEM NOTES

- ALL REUSE MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER BASED ON FINAL GRADING.
- ALL DUCTILE IRON PIPE SHALL BE CLASS 50 IN ACCORDANCE WITH A.N.S.I./A.N.S.I. C150/A151.50 AND PIPE SHALL REEDED EXTERIOR BRANCHED COATING AND SHALL BE CEMENT MORTAR LINED, STANDARD THICKNESS, IN ACCORDANCE WITH A.N.S.I./A.N.S.I. C104/A11.4.
- ALL FITTINGS LARGER THAN 3" SHALL BE DUCTILE IRON IN ACCORDANCE WITH A.N.S.I. C-110 WITH A PRESSURE RATING OF 300 P.S.I. JOINTS SHALL BE MECHANICAL JOINTS IN ACCORDANCE WITH A.N.S.I. C-111. FITTINGS SHALL BE CEMENT MORTAR LINED AND COATED IN ACCORDANCE WITH A.N.S.I. C-104.
- ALL PVC FORCE MAINS 4" THROUGH 12" SHALL BE A.N.S.I. C-900 (CLASS 150), OR 18 PVC AND 14" THROUGH 24" A.N.S.I. C-900 (CLASS 150), OR 24 PVC WITH A.N.S.I. APPROVED DUCTILE IRON MECHANICAL JOINT FITTINGS. THE PIPE SHALL BE CEMENT MORTAR LINED AND COATED IN ACCORDANCE WITH A.N.S.I. C-104.
- ALL PVC PIPE AND FITTINGS 3" AND SMALLER SHALL BE SCHEDULE 40 PVC WITH SOLVENT WELDED SLEEVE TYPE JOINTS.
- ALL GATE VALVES 3" OR LARGER SHALL BE RESILIENT SEAT OR RESILIENT WEDGE MEETING THE REQUIREMENTS OF A.N.S.I. C502.
- ALL SANITARY SEWER COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.
- PIPE LENGTHS SHOWN ARE APPROXIMATE AND SHOWN TO THE EDGE OF THE MANHOLES.
- MATERIALS AND CONSTRUCTION METHODS FOR SEWER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES, PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF, AND SUPPLEMENTAL SPECIFICATIONS THEREON. APPROVAL AND CONSTRUCTION OF ALL SANITARY SEWER SERVICE MAIN EXTENSIONS AND CONNECTIONS MUST BE COORDINATED WITH THE LOCAL REGULATORY AGENCY.

## WATER SYSTEM NOTES

- ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER BASED ON FINAL GRADING.
- ALL WATER SYSTEM WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
- ALL DUCTILE IRON PIPE SHALL BE CLASS 50 IN ACCORDANCE WITH A.N.S.I./A.N.S.I. C150/A151.50 AND PIPE SHALL REEDED EXTERIOR BRANCHED COATING AND SHALL BE CEMENT MORTAR LINED, STANDARD THICKNESS, IN ACCORDANCE WITH A.N.S.I./A.N.S.I. C104/A11.4.
- ALL FITTINGS LARGER THAN 3" SHALL BE DUCTILE IRON IN ACCORDANCE WITH A.N.S.I. C-110 WITH A PRESSURE RATING OF 300 P.S.I. JOINTS SHALL BE MECHANICAL JOINTS IN ACCORDANCE WITH A.N.S.I. C-111. FITTINGS SHALL BE CEMENT MORTAR LINED AND COATED IN ACCORDANCE WITH A.N.S.I. C-104.
- ALL PVC POTABLE WATER MAINS 4" THROUGH 12" SHALL BE A.N.S.I. C-900 (CLASS 150), OR 18 PVC AND 14" THROUGH 24" A.N.S.I. C-900 (CLASS 150), OR 24 PVC WITH A.N.S.I. APPROVED DUCTILE IRON MECHANICAL JOINT FITTINGS. THE PIPE SHALL BE CEMENT MORTAR LINED WITH WHITE OR BLACK LETTERING.
- ALL PVC FORCE MAINS 4" THROUGH 12" SHALL BE A.N.S.I. C-900 (CLASS 150), OR 18 PVC WITH A.N.S.I. APPROVED DUCTILE IRON MECHANICAL JOINT FITTINGS. THE PIPE SHALL BE CEMENT MORTAR LINED WITH WHITE OR BLACK LETTERING.
- ALL PVC PIPE AND FITTINGS 3" AND SMALLER SHALL BE SCHEDULE 40 PVC WITH SOLVENT WELDED SLEEVE TYPE JOINTS.
- ALL GATE VALVES 3" OR LARGER SHALL BE RESILIENT SEAT OR RESILIENT WEDGE MEETING THE REQUIREMENTS OF A.N.S.I. C502.
- ALL PVC HYDRANT SHALL MEET THE REQUIREMENTS OF A.N.S.I. C502 AND SHALL BE APPROVED BY THE LOCAL UTILITY DEPARTMENT.
- THE CONTRACTOR IS TO INSTALL TEMPORARY BLOW-OFFS AT THE END OF WATER SERVICE LATERALS TO ASSURE ADEQUATE FLUSHING AND DECONTAMINATION.
- MATERIALS AND CONSTRUCTION METHODS FOR WATER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES, PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF, AND SUPPLEMENTAL SPECIFICATIONS THEREON. APPROVAL AND CONSTRUCTION OF ALL POTABLE WATER SERVICE MAIN EXTENSIONS AND CONNECTIONS MUST BE COORDINATED THROUGH THE LOCAL REGULATORY AGENCY.

## WATER SYSTEM TESTING AND INSPECTION REQUIREMENTS

- ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESSURE TESTED AND ACCEPTED BY THE OWNER'S ENGINEER. PRESSURE TESTS TO BE IN ACCORDANCE WITH WATER DEPARTMENT SPECIFICATIONS. CONTRACTOR TO NOTIFY OWNER'S ENGINEER AND WATER DEPARTMENT INSPECTORS 48 HOURS IN ADVANCE OF PERFORMING TESTS.
- CONTRACTOR TO PERFORM COLORIMETRIC, BACTERIOLOGICAL, SAMPLING SHALL BE BY THE LOCAL PUBLIC HEALTH UNIT AND/OR LOCAL UTILITY. CONTRACTOR SHALL OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM COPIES OF ALL BACTERIOLOGICAL TESTS TO BE SUBMITTED TO OWNER'S ENGINEER.
- A HYDROSTATIC TEST CONSISTING OF PRESSURE TEST AND LEAKAGE TEST SHALL BE CONDUCTED ON ALL NEWLY-INSTALLED WATER DISTRIBUTION SYSTEM PRESSURE PIPES AND APPURTENANCES. THESE TESTS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF A.N.S.I. C500 FOR DUCTILE IRON PIPES, C900 FOR PVC PIPES, AND C905 FOR PVC PIPES.
- ALL SAMPLING IS TO BE PERFORMED BY THE CONTRACTOR AND SUBMITTED TO A DESIRED CERTIFIED LAB FOR TESTING.
- ALL NEWLY-INSTALLED WATER DISTRIBUTION SYSTEMS SHALL BE DISINFECTED IN ACCORDANCE WITH A.N.S.I. C501 — DISINFECTING WATER MAINS.

## SANITARY SEWER NOTES

- ALL SANITARY SEWER MAINS & LATERAL SHALL HAVE A MINIMUM OF 36" OF COVER BASED ON FINAL GRADING.
- PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
- ALL PVC GRAVITY SEWER MAINS AND SERVICE LATERALS SHALL CONFORM TO A.S.T.M. D-3034, SDR35, FOR DEPTHS OF 0-12 FEET, SDR35 FOR DEPTHS OF 12-18 FEET AND DUCTILE IRON FOR DEPTHS BELOW 18 FEET. (SEE NOTE 7 BELOW) WITH PVC CLIP JOINT FITTING IN ACCORDANCE WITH ASTM SPECIFICATIONS SECTION D2231 AND SHALL BE RIGID GREEN PIPE WITH WHITE LETTERS. PIPES INSTALLED AT DEPTHS OF LESS THAN 4" SHALL BE A.N.S.I. C-900 (CLASS 150), OR 25 PVC OR C-900 (CLASS 180), OR DR-25.
- ALL DUCTILE IRON PIPE SHALL BE CLASS 50 IN ACCORDANCE WITH A.N.S.I./A.N.S.I. C150/A151.50 AND PIPE SHALL REEDED EXTERIOR BRANCHED COATING AND SHALL BE CEMENT MORTAR LINED, STANDARD THICKNESS, IN ACCORDANCE WITH A.N.S.I./A.N.S.I. C104/A11.4.
- ALL FITTINGS LARGER THAN 3" SHALL BE DUCTILE IRON IN ACCORDANCE WITH A.N.S.I. C-110 WITH A PRESSURE RATING OF 300 P.S.I. JOINTS SHALL BE MECHANICAL JOINTS IN ACCORDANCE WITH A.N.S.I. C-111. FITTINGS SHALL BE CEMENT MORTAR LINED AND COATED IN ACCORDANCE WITH A.N.S.I. C-104.
- ALL PVC FORCE MAINS 4" THROUGH 12" SHALL BE A.N.S.I. C-900 (CLASS 150), OR 25 PVC AND 14" THROUGH 24" A.N.S.I. C-900 (CLASS 150), OR 24 PVC WITH A.N.S.I. APPROVED DUCTILE IRON MECHANICAL JOINT FITTINGS. THE PIPE SHALL BE CEMENT MORTAR LINED WITH WHITE OR BLACK LETTERING.
- ALL PVC PIPE AND FITTINGS 3" AND SMALLER SHALL BE SCHEDULE 40 PVC WITH SOLVENT WELDED SLEEVE JOINTS.
- ALL GATE VALVES 3" OR LARGER SHALL BE RESILIENT SEAT OR RESILIENT WEDGE MEETING THE REQUIREMENTS OF A.N.S.I. C502.
- ALL SANITARY SEWER COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.
- PIPE LENGTHS SHOWN ARE APPROXIMATE AND SHOWN TO THE EDGE OF THE MANHOLES.
- MATERIALS AND CONSTRUCTION METHODS FOR SEWER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES, PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF, AND SUPPLEMENTAL SPECIFICATIONS THEREON. APPROVAL AND CONSTRUCTION OF ALL SANITARY SEWER SERVICE MAIN EXTENSIONS AND CONNECTIONS MUST BE COORDINATED WITH THE LOCAL REGULATORY AGENCY.

## SANITARY SEWER TESTING & INSPECTION REQUIREMENTS

- ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
- CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.

## REUSE SYSTEM TESTING AND INSPECTION REQUIREMENTS

- A HYDROSTATIC TEST CONSISTING OF A PRESSURE TEST AND A LEAKAGE TEST SHALL BE CONDUCTED ON ALL NEWLY-INSTALLED REUSE DISTRIBUTION SYSTEM PRESSURE PIPES AND APPURTENANCES. THESE TESTS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF A.N.S.I. C500 FOR DUCTILE IRON PIPES, C900 FOR PVC PIPES, AND C905 FOR PVC PIPES AND SHALL BE PERFORMED IN ACCORDANCE WITH THE GOVERNING WATER DEPARTMENT SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY AND SCHEDULE THE ATTENDANCE OF THE OWNER'S ENGINEER AND THE GOVERNING WATER DEPARTMENT'S INSPECTORS DURING THE PRESSURE TESTS.
- ALL COMPONENTS OF THE REUSE WATER SYSTEM, INCLUDING FITTINGS, CONNECTIONS AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESSURE TESTED AND ACCEPTED BY THE OWNER'S ENGINEER.

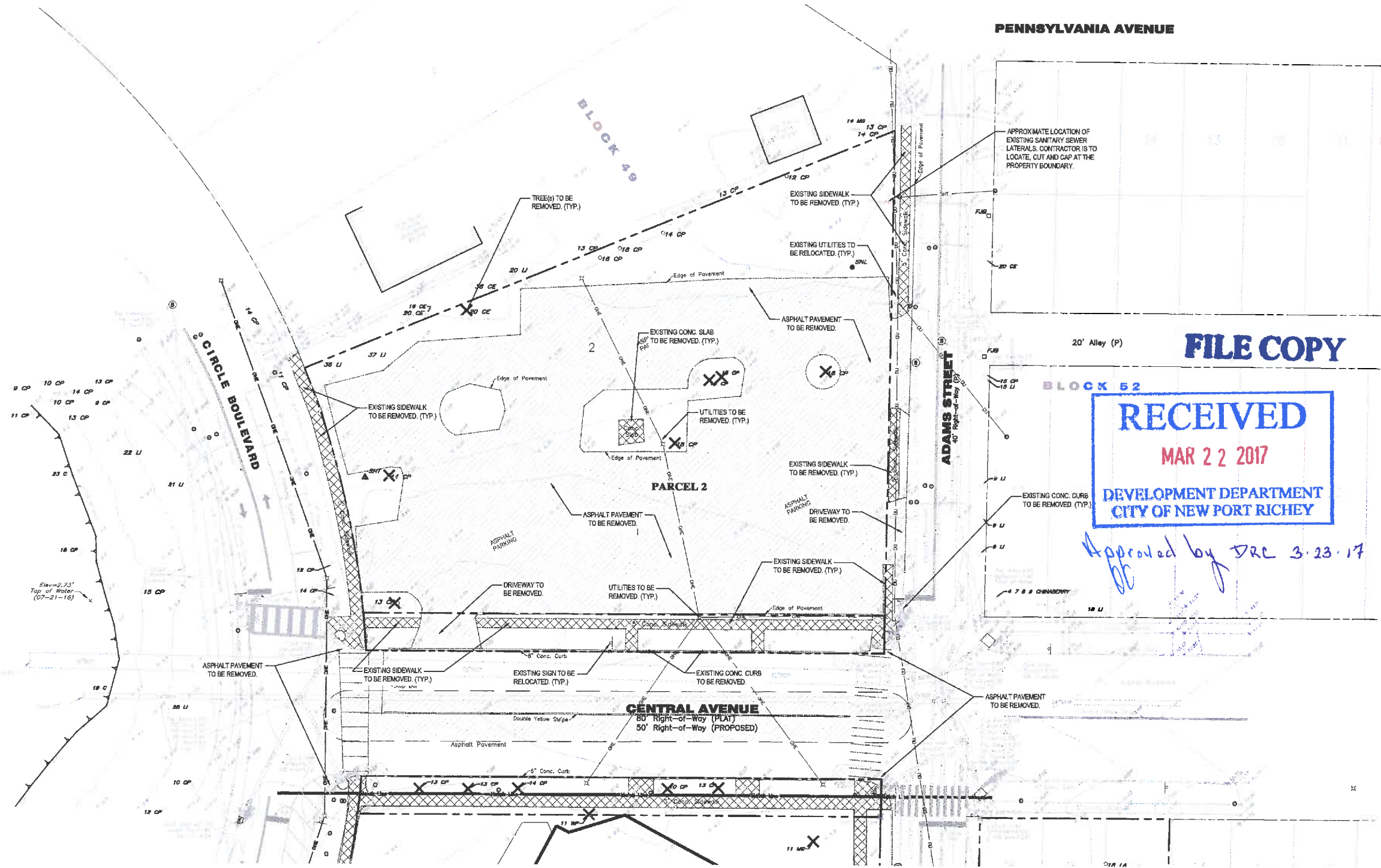
## DIRECTIONAL DRILLING OPERATIONS

- PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) HANDED, STORED, JOINED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND THE SPECIFICATIONS HEREIN.
- PRE-EXCAVATE PIPE ENTRY AND REVEALING AREAS TO PROVIDE A GRADUAL ENTRY OF THE PIPE WITHOUT STRESS TO THE PIPE OR JOINTS AND TO ALLOW FREE MOVEMENT INTO THE BORE HOLE WITHOUT EXCESSIVE DEFLECTION. CAREFULLY GUIDE PIPE IN SUCH MANNER AS TO AVOID DEFORMATION OF OR DAMAGE TO THE PIPE.
- IF UNEXPECTED SURFACE CONDITIONS ARE ENCOUNTERED DURING THE BORE, THE PROCEDURE SHALL BE STOPPED. THE INSTALLATION SHALL NOT CONTINUE UNTIL APPROVAL HAS BEEN GIVEN BY THE MANHOLE LINED AND COVERED IN ACCORDANCE WITH A.N.S.I. C-104.
- EVERY EFFORT SHALL BE MADE TO MAINTAIN PIPE INSTALLATION TO A DEPTH DEEP ENOUGH TO AVOID COLLAPSES AND FRANCHING WHERE DEEPER OR SHALLOWER INSTALLATIONS ARE SHOWN ON THE PLANS, OR REQUIRED BY THE CITY/COUNTY OR NECESSITATED BY EXISTING CONDITIONS. THE CONTRACTOR SHALL MAKE SUCH ADJUSTMENTS WITHOUT ADDITIONAL COST TO THE CITY/COUNTY.
- THE PIPE SHALL BE INSTALLED IN A MANNER THAT DOES NOT CAUSE UNEQUAL, SETTLEMENT, CHUCKING, MOVEMENT OR DISTORTION OF SURFACE FACILITIES.
- THE SYSTEM MUST BE REMOVED STEADILY AND PERMIT ELECTRONIC MONITORING OF TUNNEL DEPTH AND LOCATION. THE SYSTEM MUST BE ABLE TO CONTROL THE DEPTH AND DIRECTION OF THE PIPE AND MUST BE ACCURATE TO A WINDOW OF +/- 2 INCHES.
- EQUIPMENT SHALL BE FITTED WITH A PERMANENT ALARM SYSTEM CAPABLE OF DETECTING AN ELECTRIC CURRENT. THE SYSTEM SHALL HAVE AN AUDIBLE ALARM TO WARN THE OPERATOR IF THE DRILL HEAD CONTACTS ELECTRIFIED CABLES.
- ALL NON-METALLIC PIPE SHALL BE INSTALLED WITH 2 INSULATED 10 GAUGE COPPER LEAD WIRE ATTACHED AT 1000 AND 2500 O'CLOCK. WIRES SHALL BE ATTACHED USING MINIMUM 2" WIDE DUCT TAPE.
- IN THE CASE OF A PULL BACK WHERE THE BORE WILL BE ABANDONED, THE CONTRACTOR SHALL SHUT AN APPLICABLE DRILL INTO THE ANNUAL SPACE. THIS ACTION WILL BE IN CONJUNCTION WITH THE REMOVAL OF THE BORE TOOL TO INSURE AGAINST COLLAPSE OF THE COVER MATERIAL.
- CONTRACTOR SHALL PERFORM ALL DIRECTIONAL DRILL WORK AT LEAST 25 FEET FROM WETLAND LIMITS.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO AVOID WETLAND IMPACTS. MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, EROSION SEDIMENT BARRIERS, WY BAYES AND SOO.
- A WYO TRUCK SHALL BE ON-SITE DURING ALL DRILLING OPERATIONS TO REMOVE ANY DRILLING MUD THAT ESCAPES DRILLING PITS.
- SHOULD ANY DRILL CUTS OCCUR WITHIN THE LIMITS OF THE WETLANDS, RIVER AND/OR SURFACE MATERIALS, ALL OPERATIONS SHALL CEASE AND THE DRILLING MUD SHALL BE CONTAINED AND REMOVED FROM THE WETLAND, RIVER AND/OR



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Plot 6: 03/15/2017 09:41:38 AM, User: jld, Job: 15021, Title: 15021\_C20\_Demo Plan.dwg, Plot No: 57, Plot Size: 11.00 x 17.00, Plot Area: 187.00, Plot Scale: 1"=20'

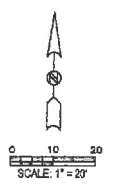


**TREE LEGEND**

0 --- CYPRESS	LI --- LIVE OAK
CE --- CEDAR TREE	MG --- SOUTHERN MAGNOLIA
CL --- CHERRY LAUREL	SL --- SLASH PINE (YELLOW PINE)
CP --- CABBAGE PALM (SABAL PALM)	WP --- WASHINGTON PALM
LA --- LAUREL OAK (DIAMOND OAK)	
X 12 C --- TREE TO BE REMOVED	

**LEGEND**

---	BOUNDARY/RIGHT-OF-WAY
[Hatched Box]	EXISTING ASPHALT PAVEMENT TO BE REMOVED.
[Cross-hatched Box]	EXISTING CONCRETE SIDEWALK TO BE REMOVED.



**DEMOLITION PLAN**

**RESIDENCES AT ORANGE LAKE**  
6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FL 34652

GREGORY B. WEGENER P.E.  
P.E. # 54676

**COASTAL**  
DESIGN CONSULTANTS

PLANNING - ENGINEERING - CONSTRUCTION ADMINISTRATION  
7026 LITTLE ROAD - NEW PORT RICHEY, FLORIDA 34654  
727-848-8400 FAX 727-848-8020

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DATE	REV. NO.
02/22/2017	001
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DATE: 05-17-2016	

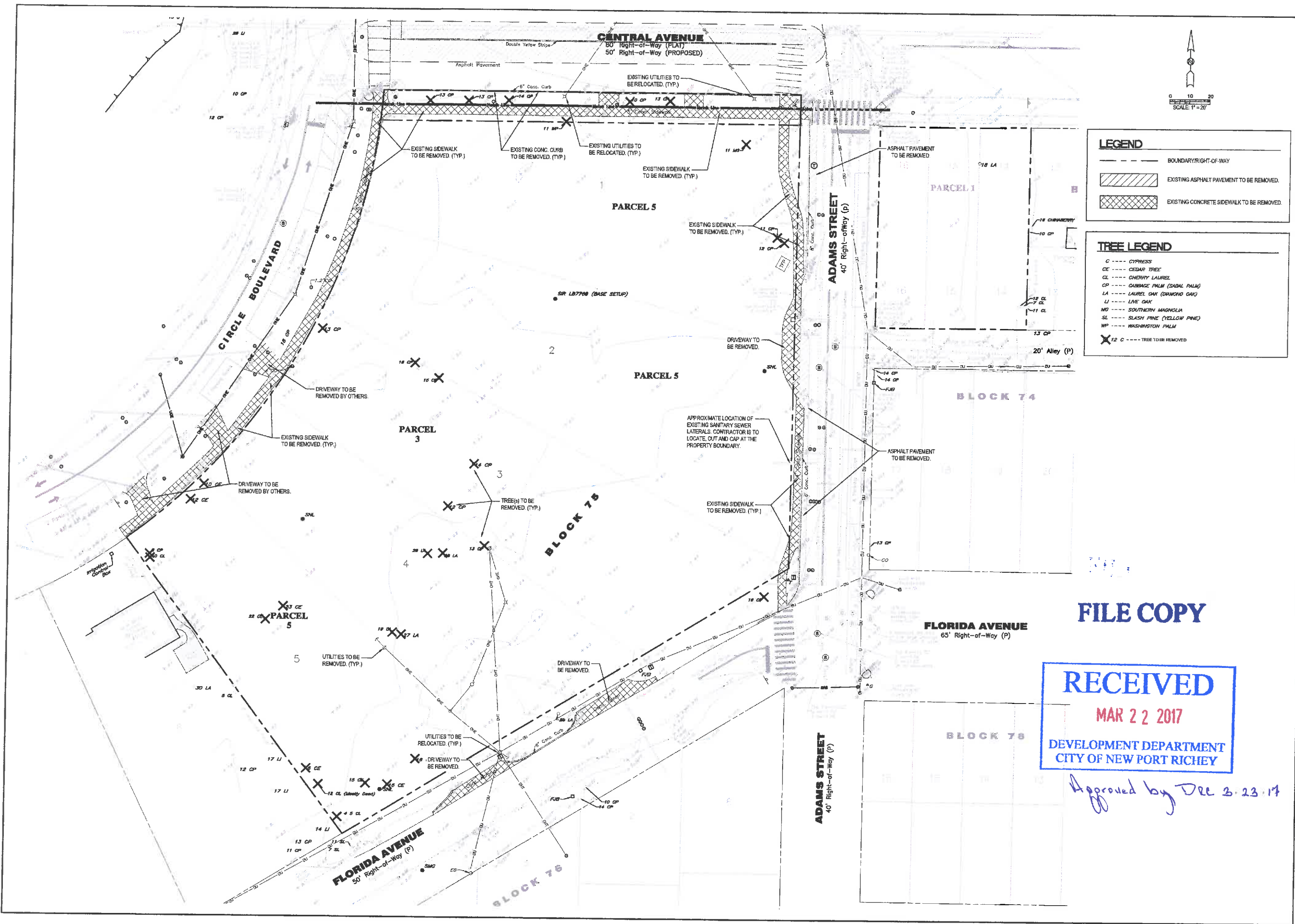
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PHOTOGRAPHIC AERIAL PHOTOGRAPHY COURTESY OF THE CITY OF NEW PORT RICHEY, FLORIDA



**DEMOLITION PLAN**  
**RESIDENCES AT ORANGE LAKE**  
**6571 CIRCLE BOULEVARD**  
**NEW PORT RICHEY FL 34652**

GREGORY B. WEGENER, P.E.  
P.E. # 04876

**COASTAL**  
DESIGN CONSULTANTS  
PLANNING • ENGINEERING • CONSTRUCTION ADMINISTRATION  
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**DEVELOPMENT DEPARTMENT**  
**CITY OF NEW PORT RICHEY**

Approved by Dec 23 17



# NEW PORT RICHEY SITE PLAN NOTES:

1. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH NEW PORT RICHEY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST EDITION.
2. ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER-DEVELOPER.
3. INSTALLATION OF FUEL STORAGE TANKS REQUIRES REVIEW AND APPROVAL BY THE FIRE MARSHAL AND THE ISSUANCE OF A SEPARATE BUILDING PERMIT. APPROVAL OF THE SITE PLAN DOES NOT CONSTITUTE APPROVAL OF THE LOCATION OF THE FUEL TANKS.
4. ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED, AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY APPROVED SITE PLAN. APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.
5. HANDICAP PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS. DEVELOPMENT SHALL BE IN COMPLIANCE WITH THE AMERICAN WITH DISABILITIES ACT AND FAIR HOUSING ACT WHERE APPLICABLE.
6. ALL ON-SITE PARKING SPACES WILL BE STRIPPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPPED IN WHITE. IT SHALL BE THE OWNER/DEVELOPER'S RESPONSIBILITY TO PROPERLY SIGN AND STRIPE IN ACCORDANCE WITH APPLICABLE STANDARDS.
7. THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN THE CITY RIGHT-OF-WAY. ALL RIGHT-OF-WAY WORK SHALL BE A FUNCTION OF AN APPROVED NEW PORT RICHEY RIGHT-OF-WAY USE PERMIT.
8. ALL CLEAR-SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3-1/2) FEET IN HEIGHT.
9. NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.
10. THE OWNER/DEVELOPER ACKNOWLEDGES THAT THE SITE AND ITS SUBSEQUENT BUILDING PERMITS SHALL COMPLY WITH ALL REZONING/MPUD/PUD CONDITIONS.
11. ALL STRUCTURES, INCLUDING BUFFER WALLS, RETAINING WALLS, SIGNAGE, ETC. REQUIRE BUILDING PERMITS.
12. FUGITIVE DUST CONTROLS SHALL BE EMPLOYED AS NEEDED TO CONTROL WINDBORNE EMISSIONS. ALL PORTIONS OF A LOT UPON WHICH DEVELOPMENT HAS COMMENCED, BUT NOT CONTINUED FOR A PERIOD OF 30 DAYS, SHALL BE PLANTED WITH GRASS SPECIES OR GROUND COVER TO PREVENT EROSION AND ENCOURAGE SOIL STABILIZATION. ADEQUATE COVERAGE, SO AS TO SUPPRESS FUGITIVE DUST, SHALL BE ACHIEVED WITHIN 45 DAYS.
13. ANY SIGNIFICANT ALTERATIONS TO THE APPROVED PLANS WILL REQUIRE A RE-SUBMITAL AND APPROVAL BY THE RESPECTIVE GOVERNING AGENCY(S). ANY WORK DONE PRIOR TO THE RESPECTIVE APPROVAL(S) IS AT THE RISK OF THE OWNER, DEVELOPER AND CONTRACTOR. SIGNIFICANT - WILL BE DETERMINED SOLELY BY THE CITY.
14. IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND NEW PORT RICHEY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.

## LEGAL DESCRIPTION:

### PHASE 1

#### PARCEL 2:

Lots 1 and 2, Block 49, City of New Port Richey, Florida, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida.

ALONG WITH North 15' Central Avenue:

The North 15 feet of Central Avenue Right-of-Way (80' Right-of-Way), as show on the plat of City of New Port Richey, as recorded in Plat Book 4, Page 49, of the Public Records of Pasco County, Florida. Bounded on the West by the East Right-of-Way line of Circle Boulevard. Bounded on the East by the West Right-of-Way line of Adams Street and being more particularly described as follows:

BEGIN at the Southwest corner of Lot 1, Block 49, of said plat of City of New Port Richey, thence S.89°50'57"W, a distance of 207.88 feet along the South boundary of said Lot 1, also being the North right-of-way line of said Central Avenue to the West Right-of-Way line of said Adams Street, thence leaving said South boundary, along the Southerly extension of the West Right-of-Way line of said Adams Street S.00°34'20"W, a distance of 15.00 feet, thence N.89°50'57"W, a distance of 206.47 feet to the Southerly extension of the Easterly Right-of-Way line of said Circle Boulevard, thence along said Southerly extension, Northerly, 15.06 feet along the arc of a non-tangent curve to the left having a radius of 355.00 feet and a central angle of 02°25'48" (chord bearing N.04°46'31"W, 15.06 feet) to the POINT OF BEGINNING.

### PHASE 2

#### PARCEL 3:

Lots 3, Block 75, City of New Port Richey, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida, LESS the following described portion thereof:

Commence at the most Easterly corner of Lot 3 for a Point of Beginning; thence run along the Southeasterly boundary of Lot 3, a distance of 85.6 feet to the most Southerly corner of Lot 3; thence Northwesterly along the line between Lots 3 and 4, a distance of 90.99 feet; thence Northeasterly a distance of 64.63 feet to the boundary between Lots 2 and 3; thence Southeasterly along said boundary between Lot 2 and 3, a distance of 134.80 feet to the Point of Beginning.

#### ALONG WITH PARCEL 3:

Lots 1, 2, 4, and 5, Block 75, and part of Lot 3, Block 75, being further described as follows:

Commence at the most Easterly corner of said Lot 3 for a Point of Beginning; thence run along the Southeasterly boundary of said Lot 3, 85.6 feet to the most Southerly corner of Lot 3; thence Northwesterly along the line between Lots 3 and 4, 90.99 feet; thence Northeasterly 64.63 feet to the boundary between Lot 2 and 3; thence Southeasterly along said boundary between Lots 2 and 3, 134.80 feet to the Point of Beginning. Plat of City of New Port Richey, Florida, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida.

#### ALONG WITH South 15' Central Avenue:

The South 15 feet of Central Avenue Right-of-Way (80' Right-of-Way), as show on the plat of City of New Port Richey, as recorded in Plat Book 4, Page 49, of the Public Records of Pasco County, Florida. Bounded on the West by the East Right-of-Way line of Circle Boulevard. Bounded on the East by the West Right-of-Way line of Adams Street and being more particularly described as follows:

BEGIN at the Northeast corner of Lot 1, Block 75, of said plat of City of New Port Richey; thence along the North boundary of said Lot 1, also being the South right-of-way line of Central Avenue, N.89°50'57"W, a distance of 208.83 feet to the Northwest corner of said Lot 1; thence leaving said North boundary, along the Northerly extension of the East Right-of-Way line of said Circle Boulevard, Northerly, 15.06 feet along the arc of a non-tangent curve to the left having a radius of 300.00 feet and a central angle of 02°52'38" (chord bearing N.05°22'51"E, 15.06 feet); thence S.89°50'57"E, a distance of 207.36 feet; thence along the Northerly extension of the East Right-of-Way line of said Adams Street, S.00°34'20"W, a distance of 15.00 feet to the POINT OF BEGINNING.

### PHASE 3

#### PARCEL 1:

Lots 14, 15 and 16, Block 74, City of New Port Richey, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida.

RAND BOULEVARD  
80' Right-of-Way (P)

## LOCATION MAP



## LEGEND

- BOUNDARY/RIGHT-OF-WAY
- WETLAND LIMITS
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED ASPHALT PAVEMENT- ON-SITE
- PROPOSED ASPHALT PAVEMENT- RIGHT OF WAY
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT

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BICYCLE PARKING REQUIRED:  
85 SPACES REQUIRED X 0.11/SPACE = 9 BICYCLE PACES REQUIRED  
BICYCLE PARKING PROVIDED:  
12 SPACES PROVIDED  
THREE IN PHASE ONE, 9 IN PHASE TWO

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MAR 22 2017  
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CITY OF NEW PORT RICHEY

## SITE DATA SECTION 05, TOWNSHIP 26S, RANGE 16E

<b>PROPERTY LOCATION:</b>	PHASE ONE N/A PHASE TWO 6571 CIRCLE BOULEVARD PHASE THREE N/A
<b>PARENT TRACT IDENTIFICATION NUMBER:</b>	PHASE ONE 05 28 16 0030 04900 0010 PHASE TWO 05 28 16 0030 07500 0010 PHASE THREE 05 28 16 0030 07500 0030 05 28 16 0030 07400 0140
<b>ZONING CLASSIFICATION:</b>	PHASE ONE R2 PHASE TWO DOWNTOWN PHASE THREE MF14
<b>FUTURE LAND USE CLASSIFICATION:</b>	PHASE ONE LMDR-10 PHASE TWO DOWNTOWN CORE-40 PHASE THREE DOWNTOWN-20
<b>DEVELOPMENT AREA (PROJECT AREA):</b>	PHASE ONE AREA = 0.814 Ac. PHASE TWO AREA = 1.842 Ac. PHASE THREE AREA = 0.173 Ac. TOTAL AREA = 2.829 Ac.
<b>EXISTING PROPERTY USE:</b>	VACANT
<b>PROPOSED PROPERTY USE:</b>	APARTMENTS
<b>NUMBER OF PROPOSED LOTS:</b>	PHASE ONE = 23 UNITS PHASE TWO = 59 UNITS PHASE THREE = 3 UNITS TOTAL = 85 UNITS
<b>NUMBER OF PROPOSED PHASES:</b>	(3) THREE PHASES
<b>ZONING/CONDITIONAL USE/SPECIAL EXCEPTIONS HISTORY:</b>	
<b>PERVIOUS SURFACE RATIO:</b>	PHASE ONE = 0.582 / 0.814 = 71.5% PHASE TWO = 1.507 / 1.842 = 81.8% PHASE THREE = 80.0% (ASSUMED)

Phase	Item	Notes
Phase 1	1. Lot 14, 15 and 16, Block 74, City of New Port Richey, Florida, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida.	
Phase 2	2. Lot 3, Block 75, City of New Port Richey, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida, LESS the following described portion thereof:	
Phase 3	3. Lot 14, 15 and 16, Block 74, City of New Port Richey, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida.	

MAXIMUM LOT REQUIREMENTS:
PHASE 1 BUILDING HEIGHT: 55' LOT COVERAGE: 5,088 SF OR 14% OF LOT COVERAGE IS BUILDING (DOES NOT INCLUDE SIDEWALKS OR PARKING AREA)
PHASE 2 BUILDING HEIGHT: 55' LOT COVERAGE: 23,992 SF OR 30% OF LOT COVERAGE IS BUILDING (DOES NOT INCLUDE SIDEWALKS OR PARKING AREA)
PHASE 3 BUILDING HEIGHT: 35' LOT COVERAGE: 50% OF LOT COVERAGE IS BUILDING (DOES NOT INCLUDE SIDEWALK OR PARKING AREA)

PARKING REQUIRED:
23 UNITS X 1.0 SPACE / UNIT = 23.0 (PHASE 1) 59 UNITS X 1.0 SPACE / UNIT = 59.0 (PHASE 2) 3 UNITS X 1.0 SPACE / UNIT = 3.0 (PHASE 3) 85 REQUIRED SPACES
PARKING PROVIDED:
PHASE ONE: 31 VEHICULAR SPACES INCLUDING (2) HANDICAP PHASE TWO: 80 VEHICULAR SPACES INCLUDING (4) HANDICAP PHASE THREE: 6 VEHICULAR SPACES (ASSUMED) TOTAL: 97 PROVIDED (ON-SITE) AND 32 PROVIDED (OFF-SITE)
FLOOD ZONE:
AE FEMA COMMUNITY PANEL NO. 12101C0188F- DATE:09/28/2014

- SITE DATA NOTES:**
1. THERE ARE NO VARIANCES BEING APPLIED FOR.
  2. THERE ARE ALTERNATIVE STANDARDS BEING APPLIED FOR.
  3. THE PROPOSED DEVELOPMENT SHALL BE PERMITTED IN ONE PHASE.
  4. THE PROPOSED DEVELOPMENT IS NOT LOCATED ALONG A ROADWAY LISTED IN THE TRANSPORTATION CORRIDOR PRESERVATION ORDINANCE.
  5. THERE ARE NO WETLAND PROTECTION AREAS (WPA) OR SPECIAL PROTECTION AREA (SPA) WITHIN 1,000 FEET OF THE PROPOSED DEVELOPMENT AREA.
  6. THERE ARE NO EXISTING STRUCTURES WITHIN THE PROPOSED DEVELOPMENT SITE TO BE REMOVED.
  7. ELEVATIONS SHOWN ARE IN FEET AND REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
  8. THERE ARE NO KNOWN HISTORICAL RESOURCES LOCATED WITHIN THE PROPOSED DEVELOPMENT SITE.
  9. THERE ARE NO CATEGORY II WETLAND AREAS LOCATED WITHIN THE PROPOSED DEVELOPMENT.
  10. THERE ARE NO EXISTING TREES TO BE REMOVED WITHIN THE PROPOSED DEVELOPMENT SITE.
  11. THERE IS NO NEIGHBORHOOD PARK PROPOSED OR REQUIRED WITHIN THE PROPOSED DEVELOPMENT SITE.
  12. THERE ARE PROPOSED EASEMENTS WITHIN THE DEVELOPMENT SITE. REFERENCE THE PROPOSED EASEMENTS TABLE.
  13. THE PROPOSED DEVELOPMENT IS NOT IDENTIFIED AS AN AREA OF KNOWN ENDANGERED AND THREATENED SPECIES AS SHOWN ON MAPS 3-1A, 3-1B, OR 3-1C IN THE NEW PORT RICHEY COMPREHENSIVE PLAN.
  14. THE PROPOSED DEVELOPMENT IS NOT A LARGE SCALE COMMERCIAL SITE.
  15. THE PROPOSED DEVELOPMENT IS NOT LOCATED IN THE US 19 CONCURRENCY ZONE.

## PRELIMINARY SITE PLAN

RESIDENCES AT ORANGE LAKE  
6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FL 34652

GREGORY E. WEGENER, P.E.  
P.E. #54876

COASTAL  
DESIGN CONSULTANTS  
PLANNING • ENGINEERING • CONSTRUCTION ADMINISTRATION  
7038 LITTLE ROAD • NEW PORT RICHEY, FLORIDA 34654  
727-848-5544 • FAX 727-848-5520

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DATE	REV BY	REV NO.	REVISION
03/22/2017	GRW	1	REVISED TO ADDRESS CITY COMMENTS
03/22/2017	GRW	2	REVISED TO ADDRESS CITY COMMENTS

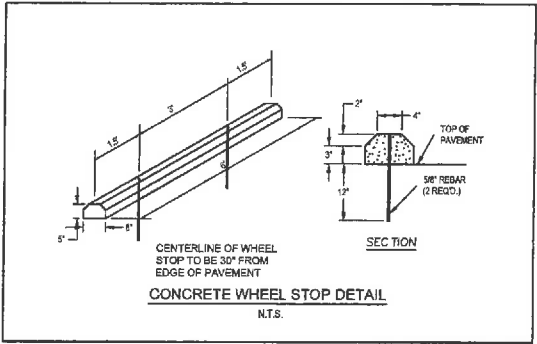
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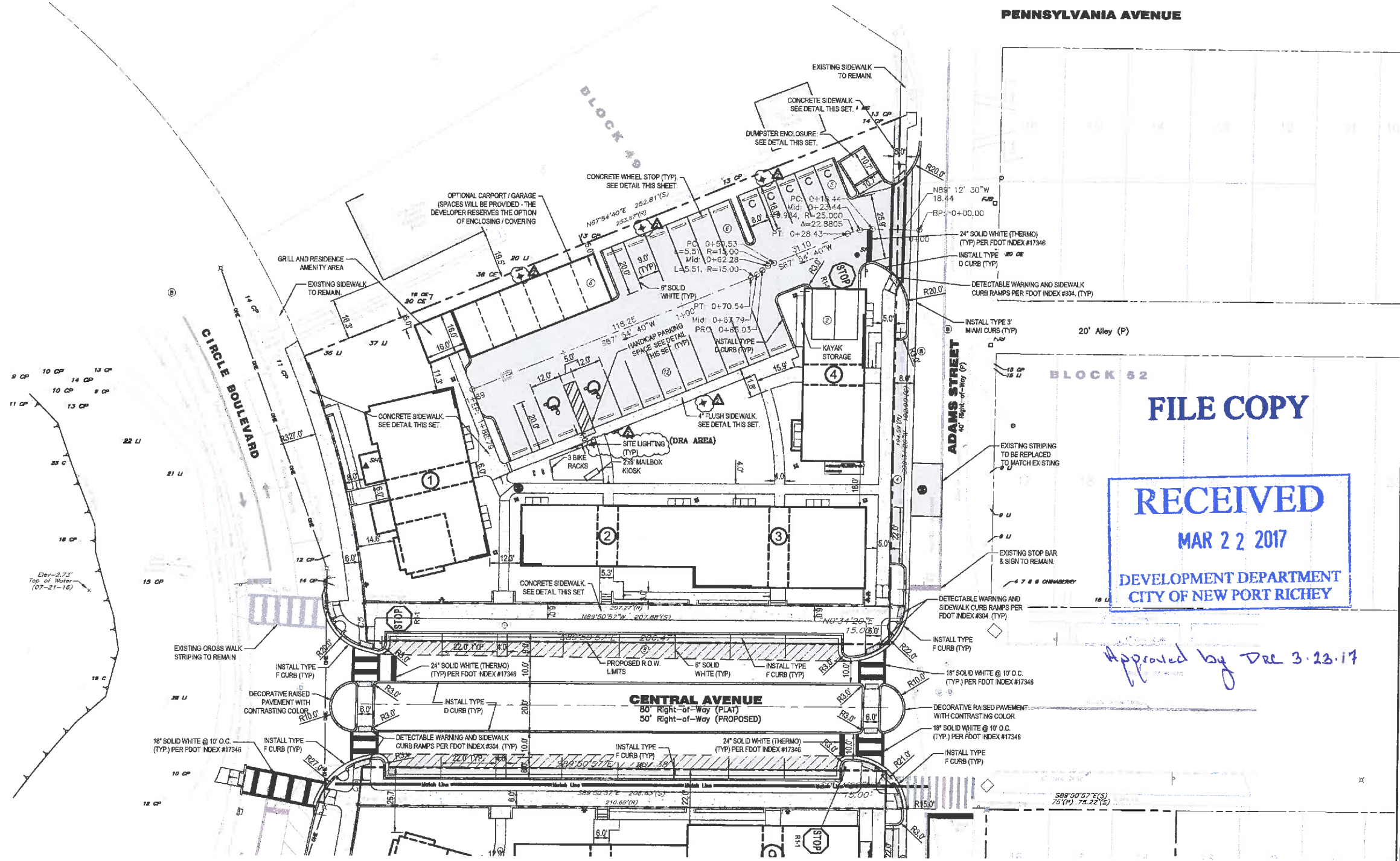
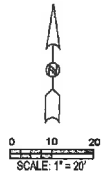
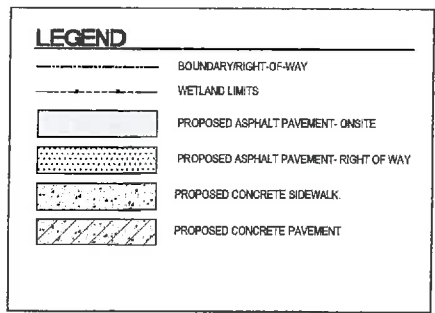
JOB NO: 16021

Approved by DEC 3.23.17





- SIGNING/MARKING NOTES**
1. ALL PROPOSED ON-SITE PAVEMENT MARKINGS SHALL BE TRAFFIC GRADE PAINT.
  2. ALL PROPOSED PAVEMENT MARKINGS WITHIN NEW PORT RICHEY ROW SHALL BE THERMOPLASTIC EXCEPT FOR PARKING WHICH SHALL BE TRAFFIC GRADE PAINT.
  3. ALL PROPOSED PAVEMENT MARKINGS SHALL BE PER FOOT INDEX NO. 17346.
  4. ALL PROPOSED SIGNS SHALL BE STANDARD FOOT REGULATION SIZED SIGNS.



**FILE COPY**

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**MAR 22 2017**

**DEVELOPMENT DEPARTMENT**

**CITY OF NEW PORT RICHEY**

*Approved by Dec 3.23.17*

**SIGNAGE AND HORIZONTAL CONTROL PLAN**

**RESIDENCES AT ORANGE LAKE**

**6571 CIRCLE BOULEVARD**

**NEW PORT RICHEY FL 34662**

GREGORY B. WIEGNER, P.E.  
P.E. 154816

**COASTAL**  
DESIGN CONSULTANTS

PLANNING • ENGINEERING • CONSTRUCTION ADMINISTRATION  
7028 LITTLE ROAD • NEW PORT RICHEY, FLORIDA 34854  
727-843-8010 FAX 727-849-9020  
CEN 00000002

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DATE	DESIGNED BY	REV. NO.	REV. BY	REVISION
05-17-2016	ALG	1	ALG	DESIGNED
		2		REVISED TO ADDRESS CITY COMMENTS
		3		REVISED TO ADDRESS CITY COMMENTS

DATE: 05-17-2016

**SHEET**

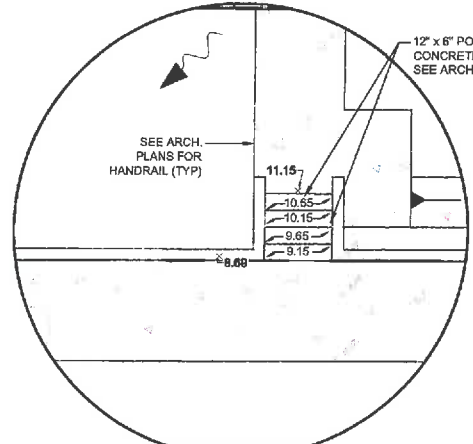
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JOB NO.: 16021

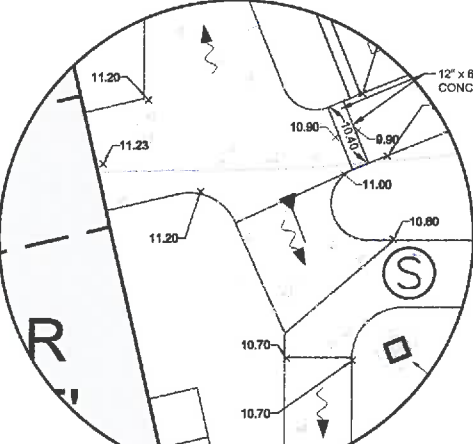




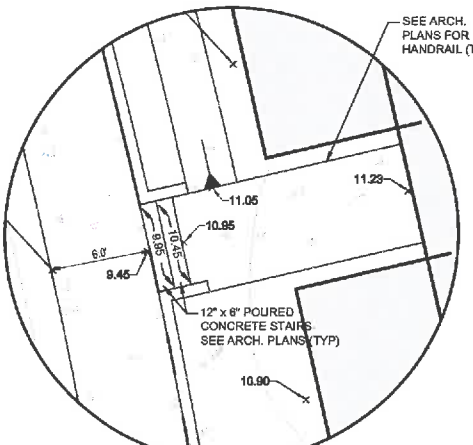




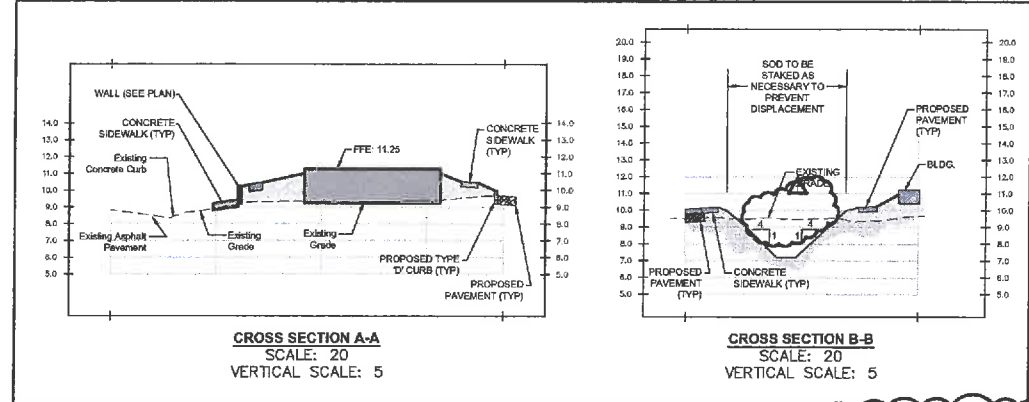
**AREA DETAIL 'D'**  
SCALE: 1" = 5'



**AREA DETAIL 'E'**  
SCALE: 1" = 5'



**AREA DETAIL 'F'**  
SCALE: 1" = 5'



**CROSS SECTION A-A**  
SCALE: 20  
VERTICAL SCALE: 5

**CROSS SECTION B-B**  
SCALE: 20  
VERTICAL SCALE: 5

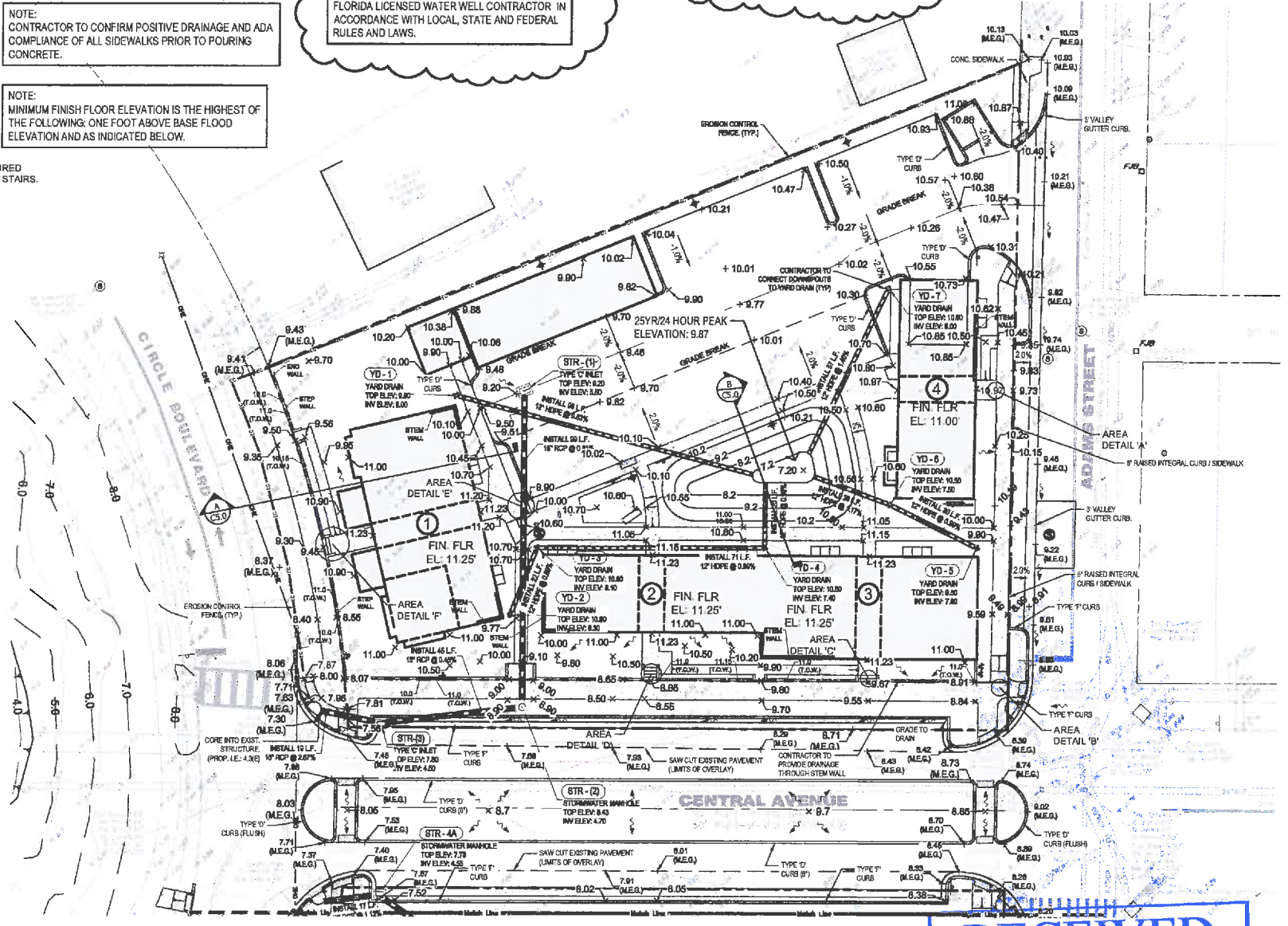
**STORMWATER NOTE:**  
ALL STORM STRUCTURES SHALL INCLUDE STRUCTURE BOTTOM THAT WILL ACCOMMODATE ALL PROPOSED PIPE(S) SIZES AND ANGLES.

**NOTE:**  
CONTRACTOR TO CONFIRM POSITIVE DRAINAGE AND ADA COMPLIANCE OF ALL SIDEWALKS PRIOR TO POURING CONCRETE.

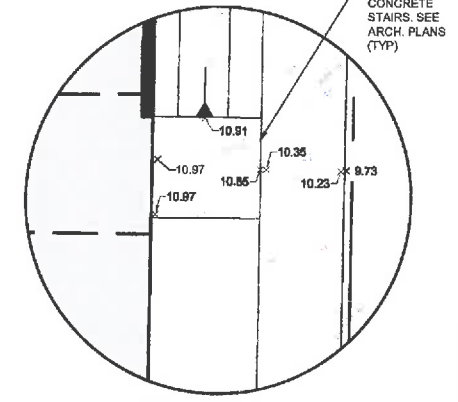
**NOTE:**  
MINIMUM FINISH FLOOR ELEVATION IS THE HIGHEST OF THE FOLLOWING: ONE FOOT ABOVE BASE FLOOD ELEVATION AND AS INDICATED BELOW.

**WELL NOTE:**  
ON-SITE WELL(S) ARE TO BE ABANDONED BY A FLORIDA LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL RULES AND LAWS.

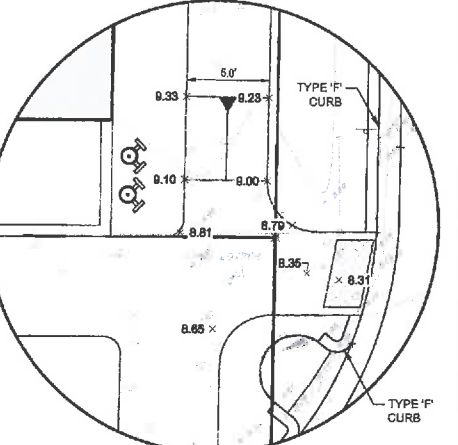
SEE SHEET D3 FOR PORTIONS OF BUILDINGS THAT ARE TO HAVE GUTTER SYSTEMS AND DOWNSPOUTS ROUTED TO STORMWATER POND.



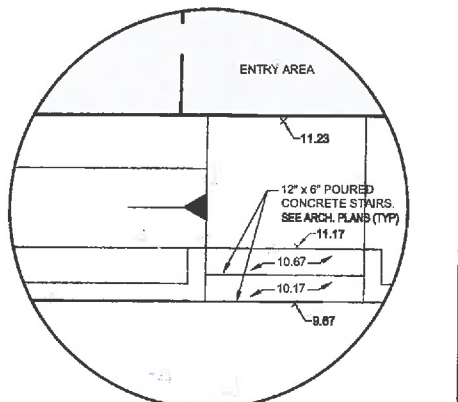
- LEGEND**
- BOUNDARY/RIGHT-OF-WAY
  - EASEMENT LINE
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED CONCRETE PAVEMENT
  - PROPOSED CONTOUR
  - SURFACE RUN-OFF DIRECTION
  - CHANNELIZED FLOW DIRECTION
  - EXISTING SPOT ELEVATION
  - PROPOSED TOP OF CURB/SIDEWALK ELEV
  - PROPOSED E.O.P./GROUND ELEVATION
  - TOP OF WALL
  - FOOT GRADE INLET
  - FOOT JUNCTION BOX
  - YARD DRAIN (SEE TABLE FOR SIZE)
  - RCP STORMWATER PIPE
  - EROSION CONTROL



**AREA DETAIL 'A'**  
SCALE: 1" = 5'



**AREA DETAIL 'B'**  
SCALE: 1" = 5'



**AREA DETAIL 'C'**  
SCALE: 1" = 5'

**PAVING, GRADING AND DRAINAGE PLAN**  
**RESIDENCES AT ORANGE LAKE**  
**6571 CIRCLE BOULEVARD**  
**NEW PORT RICHEY FL 34662**

GREGORY B. WEGENER, P.E.  
P.E. # 54876

**COASTAL**  
**DESIGN CONSULTANTS**  
PLANNING - ENGINEERING - CONSTRUCTION ADMINISTRATION  
7035 LITTLE ROAD - NEW PORT RICHEY, FLORIDA 34662  
727-848-8010 - Fax 727-848-8020  
CWP 00003572

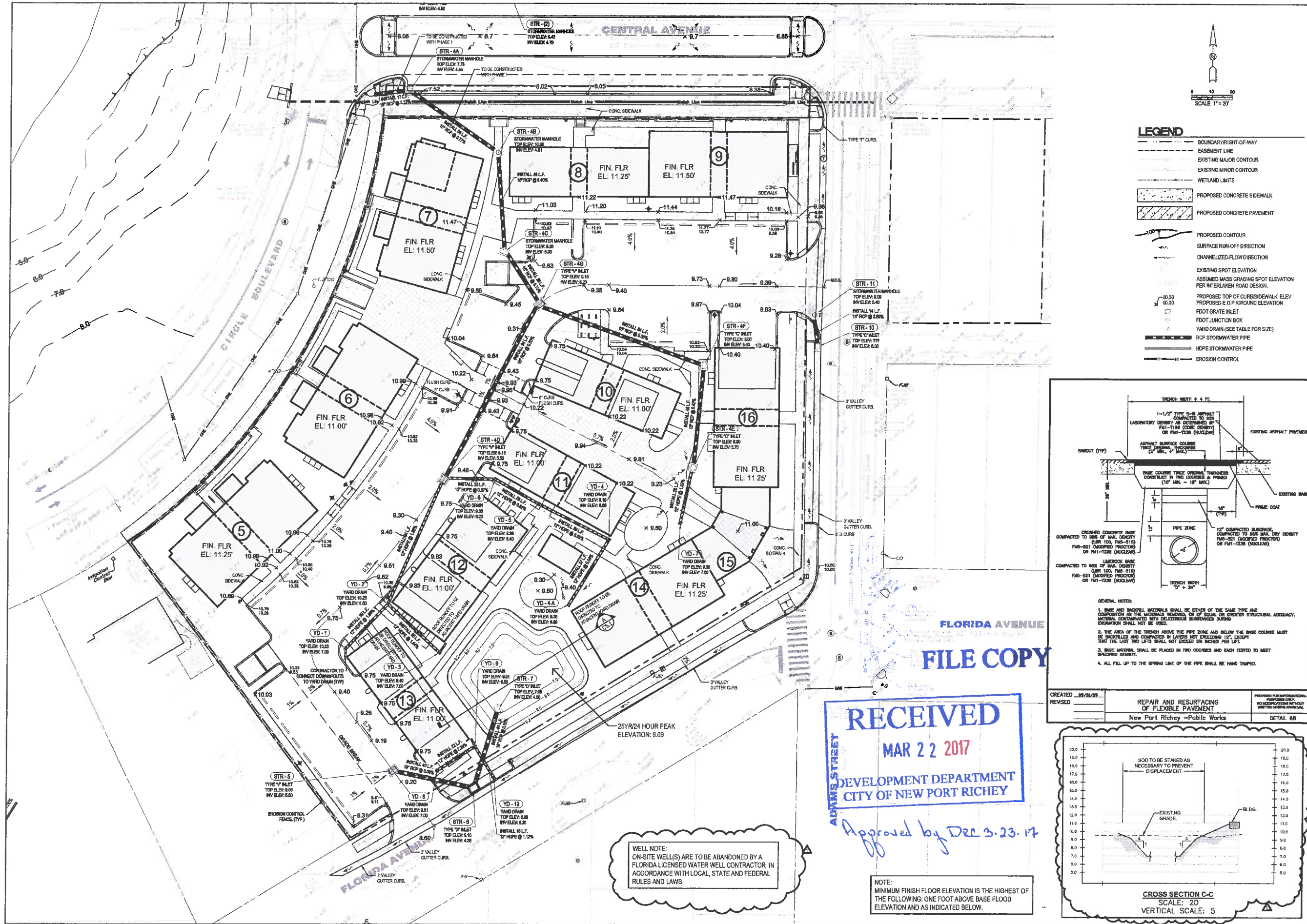
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DATE	REV BY	REV NO.	REVISION
03/22/2017	GBW	1	REVISED TO ADDRESS CITY COMMENTS
03/25/2017	GBW	2	ADDED NOTE REGARDING DOWNSPOUTS
DATE: 05-17-2016			
<b>SHEET</b>			
<b>C5.0</b>			
JOB No: 16021			

**RECEIVED**  
**MAR 22 2017**  
**DEVELOPMENT DEPARTMENT**  
**CITY OF NEW PORT RICHEY**

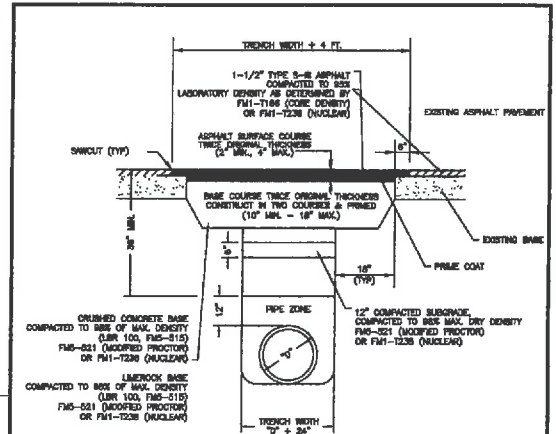
Approved by DEC 3-23-17





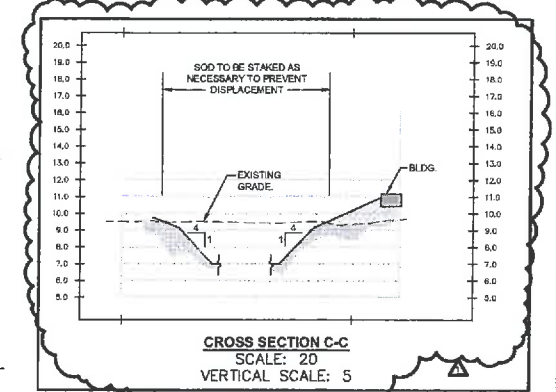
**LEGEND**

- BOUNDARY/RIGHT-OF-WAY
- EASEMENT LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- WETLAND LIMITS
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONTOUR
- SURFACE RUN-OFF DIRECTION
- CHANNELIZED FLOW DIRECTION
- EXISTING SPOT ELEVATION
- ASSUMED MASS GRADING SPOT ELEVATION PER INTERLAKEN ROAD DESIGN
- PROPOSED TOP OF CURB/SIDEWALK ELEVATION
- PROPOSED E.O.P./GROUND ELEVATION
- FOOT GRATE INLET
- FOOT JUNCTION BOX
- YARD DRAIN (SEE TABLE FOR SIZE)
- RCP STORMWATER PIPE
- HDPE STORMWATER PIPE
- EROSION CONTROL



- GENERAL NOTES:**
1. BASE AND BACKFILL MATERIALS SHALL BE EITHER OF THE SAME TYPE AND COMPOSITION AS THE MATERIALS RELAYED OR OF EQUAL OR GREATER STRUCTURAL ADEQUACY. MATERIAL CONTAMINATED WITH OIL/OTHER SUBSTANCES DURING CONSTRUCTION SHALL NOT BE USED.
  2. THE AREA OF THE TRENCH ABOVE THE PIPE ZONE AND BELOW THE BASE COURSE MUST BE BACKFILLED AND COMPACTED IN LAYERS NOT EXCEEDING 12", EXCEPT THAT THE LAST TWO LAYS SHALL NOT EXCEED 50 INCHES PER LIFT.
  3. BASE MATERIAL SHALL BE PLACED IN TWO COURSES AND EACH TESTED TO MEET SPECIFIED DENSITY.
  4. ALL FILL UP TO THE FINISH LINE OF THE PIPE SHALL BE HAND TRIMMED.

CREATED	02/28/09
REVISED	
REPAIR AND RESURFACING OF FLEXIBLE PAVEMENT	
New Port Richey - Public Works	
DETAIL 68	



WELL NOTE:  
ON-SITE WELL(S) ARE TO BE ABANDONED BY A FLORIDA LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL RULES AND LAWS.

NOTE:  
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**RECEIVED**  
MAR 22 2017  
DEVELOPMENT DEPARTMENT  
CITY OF NEW PORT RICHEY  
Approved by DEC 3.23.17

**PAVING, GRADING AND DRAINAGE PLAN**  
**RESIDENCES AT ORANGE LAKE**  
6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FL 34652

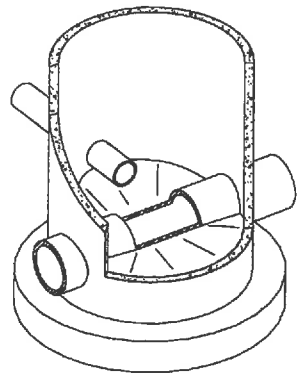
GREGORY B. WIEGNER, P.E.  
P.E. #5876

**COASTAL**  
DESIGN CONSULTANTS  
PLANNING & ENGINEERING CONSULTANTS  
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727-849-8010 • FAX 727-849-8020  
C5.1 00000527

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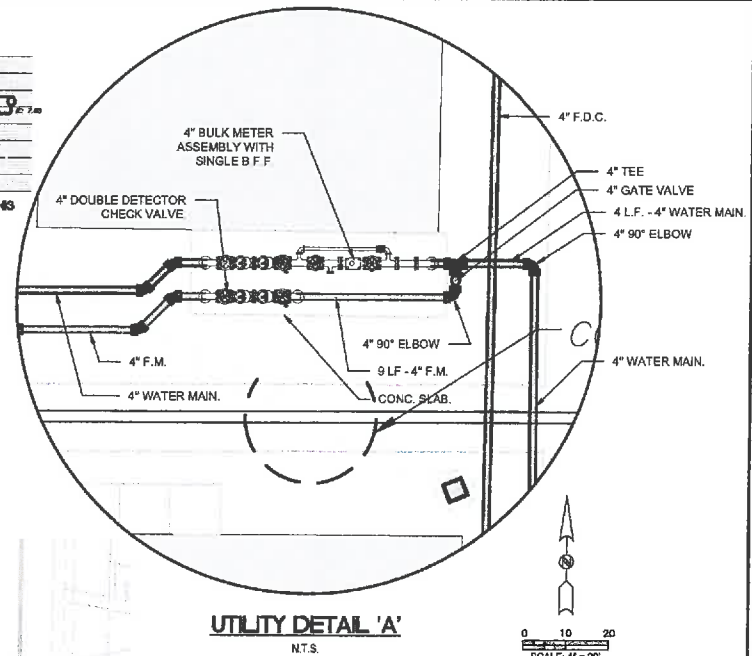
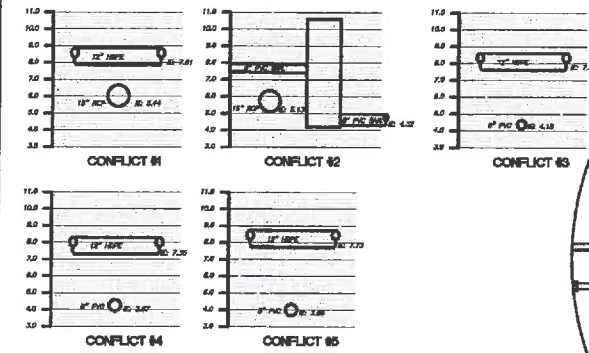
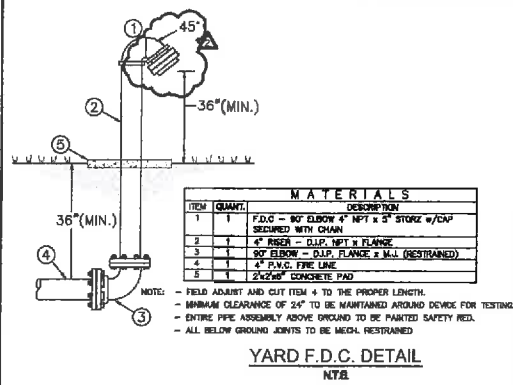
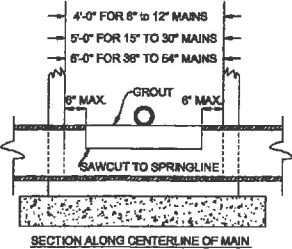
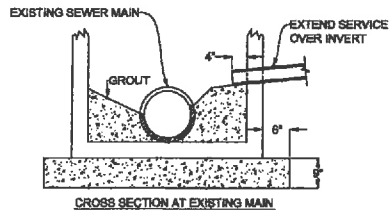
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02/28/09	100





#### NOTES:

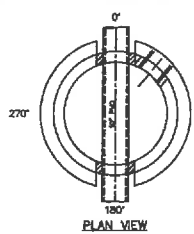
1. FLOW SHALL BE MAINTAINED DURING CONSTRUCTION.
2. THIS DETAIL TO BE USED WHEN A 6" OR LARGER LATERAL NECESSITATES CONSTRUCTION OF A NEW MANHOLE.
3. MANHOLE PAD TO REST UPON A MINIMUM 6" COMPACTED #67 STONE BASE.



TOWN OF APEX  
STANDARDS  
EFFECTIVE: DECEMBER 3, 2002

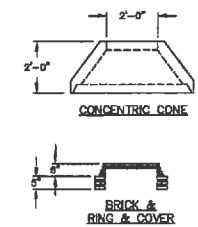
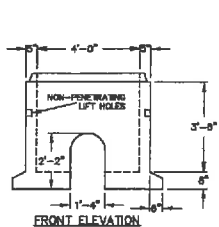
### DOGHOUSE MANHOLE INSTALLATION OVER EXISTING SEWER MAIN

STD. NO.  
700.12  
SHEET 1 OF 1



TOP ELEVATION: 6.50  
INVERT ELEVATION: 0.10  
OUT HEIGHT: 6.10  
ADJUSTMENT: -2.50 + 33 = 43  
CALCULATED HEIGHT: 3.50

- NOTES:
1. PRECAST MANHOLES ARE MANUFACTURED TO MEET OR EXCEED A.S.T.M. SPECIFICATION C-478 (LATEST).
  2. SEWER PIPE TO BE JOINED TO MANHOLES WITH KOR-10 SEAL FLEXIBLE SLEEVES - A.S.T.M. SPECIFICATION C-923.
  3. NO INTERIOR AND EXTERIOR COATINGS
  4. GASKET JOINT INCLUDED.



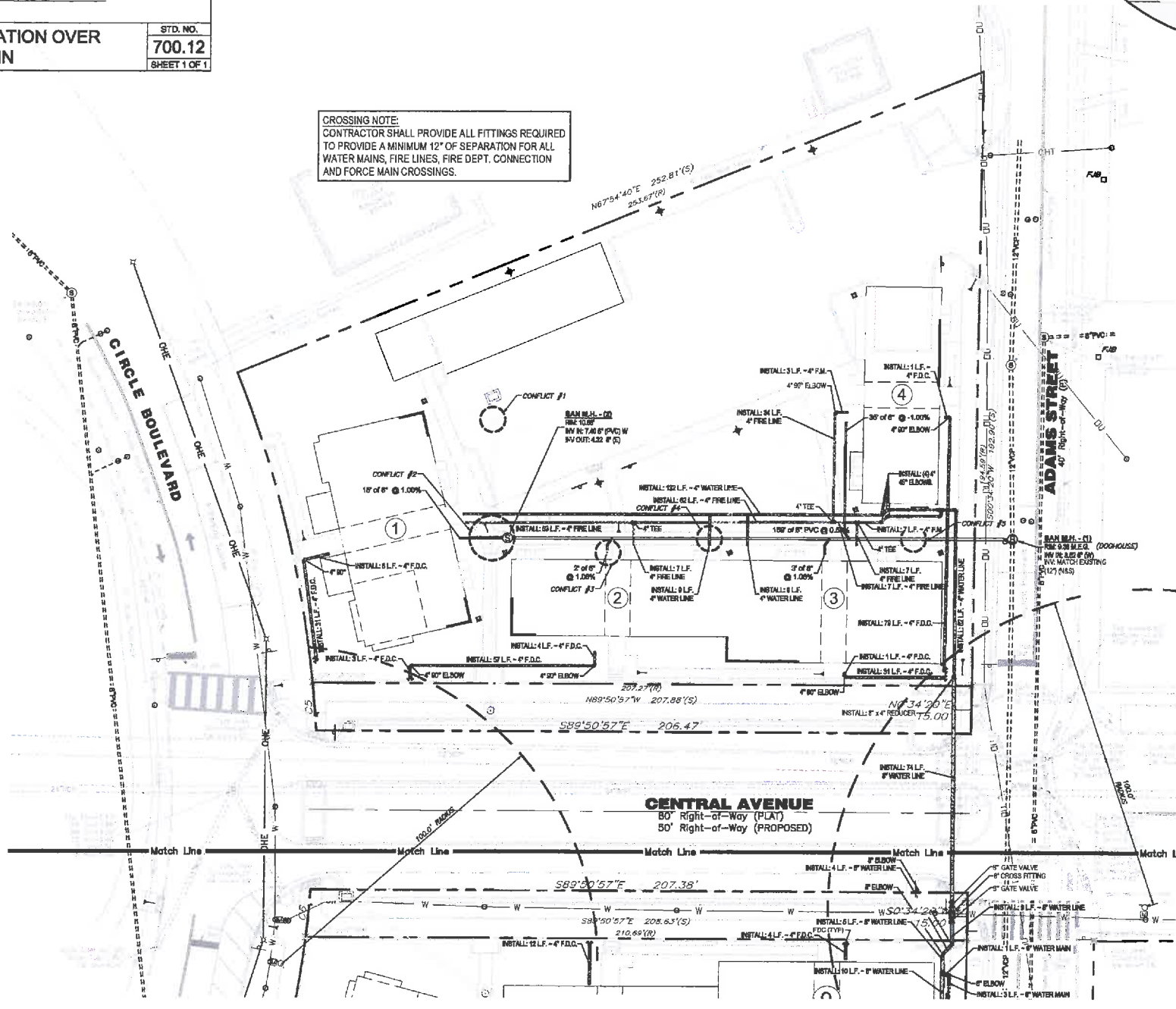
DEGREE	PIPE SIZE	PIPE INVERT	BOOT	HOLE UP	PRODUCTION YARDAGE	WEIGHTS	REINFORCEMENT
0	10" CLAY	0.10	DOO	0'-2"	BASE	0.98 CYDS	#4 @ 12 O.C. W 2" CLR
40	10" PVC	0.10	DOO	0'-2"	WALL	0.85 CYDS	3#8 W3/W2 CNT
180	10" CLAY	0.10	DOO	0'-2"	CONC	1.300	3#8 W3/W2 CNT
TOTAL:						6.498	
REMARKS:						CASTING: USF 170 E ORS	
						STEEL WT.: CONC WT.:	

Oldcastle® Precast, Inc.  
2140 PONDILLA ROAD, CAPE CORAL, FLORIDA 33909-8194  
(888) 574-6868 FAX: (888) 574-3419  
DALLAS, TX

#### CITY OF NEW PORT RICHEY NOTES

1. CONTRACTOR IS REQUIRED TO CALL (811) FOR UTILITY LOCATES 48 HOURS BEFORE CONSTRUCTION TO ALLOW THE AREA TO BE FLAGGED AND MARKED.
2. CONTRACTOR IS REQUIRED TO NOTIFY THE PUBLIC WORKS DEPARTMENT 48 HOURS IN ADVANCE BEFORE TAPPING THE WATER MAIN FOR THE NEW FIRE LINE. CITY PERSONNEL MUST BE PRESENT DURING THE WATER MAIN TAP.
3. CONTRACTOR SHALL HAVE ALL MAINTENANCE OF TRAFFIC AND EROSION CONTROL IN PLACE BEFORE STARTING CONSTRUCTION.
4. ALL NEW BACKFLOW PREVENTION ASSEMBLIES WILL NEED TO BE TESTED AND INSPECTED UPON INSTALLATION, ALL TESTING DOCUMENTATION TO BE PROVIDED TO PUBLIC WORKS.
5. CONNECTION TO THE WATER MAIN LINE WILL BE SCHEDULED AND ALLOWED AFTER PROPER DOCUMENTATION OF PRESSURE TESTS AND BACTERIOLOGICAL HAVE BEEN PROVIDED TO PUBLIC WORKS.
6. CITY VALVES AND UTILITIES TO BE WORKED/ EXERCISED BY PUBLIC WORKS EMPLOYEES ONLY.
7. ALL PIPE WORK AND FITTINGS TO EASEMENT / ROW UP TO AND INCLUDING THE DDCV SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY'S DESIGN STANDARDS AND DETAILS LATEST EDITION.
8. THE CITY SHALL OWN AND MAINTAIN ALL PIPES AND FITTING IN EASEMENT/ ROW UP TO THE DDCV.
9. THE OWNER SHALL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF ALL PIPES AND FITTINGS DOWNSTREAM OF AND INCLUDING DDCV.

CROSSING NOTE:  
CONTRACTOR SHALL PROVIDE ALL FITTINGS REQUIRED TO PROVIDE A MINIMUM 12" OF SEPARATION FOR ALL WATER MAINS, FIRE LINES, FIRE DEPT. CONNECTION AND FORCE MAIN CROSSINGS.



#### LEGEND

- BOUNDARY/RIGHT-OF-WAY
- CONCRETE PAVEMENT
- EXISTING DRAINAGE GUTTER STRUCTURE
- EXISTING POTABLE WATER LINE
- EXISTING SANITARY SEWER PIPE
- EXISTING SANITARY SEWER STRUCTURE
- PROPOSED 2" POTABLE WATER LINE
- PROPOSED 4" FIRE DEPT. CONNECTION
- PROPOSED 8" PVC FIRE MAIN
- PROPOSED 12" PVC FIRE MAIN
- PROPOSED GATE VALVE
- PROPOSED FDC
- PROPOSED FIRE HYDRANT ASSEMBLY

FILE COPY

RECEIVED

MAR 22 2017

DEVELOPMENT DEPARTMENT  
CITY OF NEW PORT RICHEY

Approved by DEC 3-23-17

#### UTILITY PLAN

RESIDENCES AT ORANGE LAKE  
6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FL 34652

GREGORY S. WESSENER, P.E.  
P.E. # 54576

COASTAL  
DESIGN CONSULTANTS  
PLANNING - ENGINEERING - CONSTRUCTION ADMINISTRATION  
7026 LITTLE ROAD - NEW PORT RICHEY, FL 34654  
727-840-6410 FAX 727-840-6411  
C.O.# 00039522

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Designed By: G.B.W. | Drawn By: A.L.G.  
REV. BY: REV. NO. 1  
DATE: 02/22/17  
BY: G.W. 2  
DATE: 05-17-2016

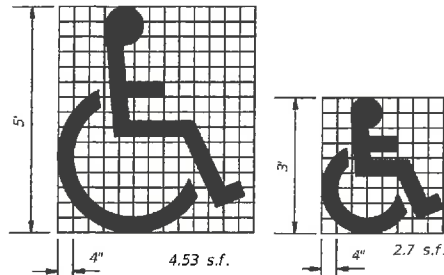
SHEET  
C6.0

16021









Use of pavement symbol in accessible parking spaces is optional. When used, the symbol shall be 3\"/>

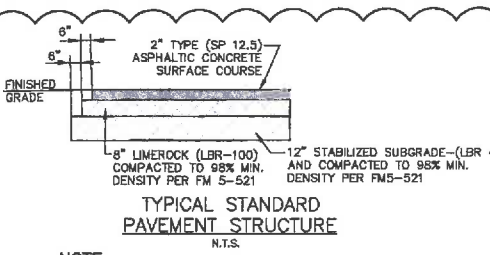
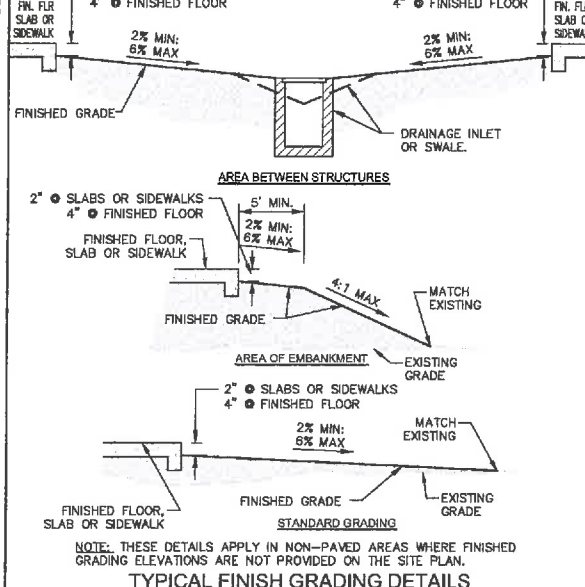
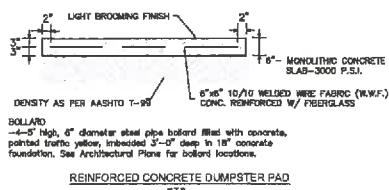
UNIVERSAL SYMBOL OF ACCESSIBILITY

FDOT ACCESSIBLE PARKING AND PASSENGER LOADING ZONES

NOT TO SCALE

# NOTES:

- 1.) WALLS  
a.) New construction: minimum 8'-0" high and constructed of concrete block (8"x8"x16"). Materials used should be consistent with those used in the construction of the existing building.  
b.) Existing: maximum 8'-0" high replacement materials can be made of the same material as long as they are made of approved opaque material.
- 2.) FOOTINGS  
8"x10" concrete w/2-#5 continuous rebar embedded.
- 3.) CONCRETE SLAB  
Minimum 4" thick w/2-#5 rebar @ 12" O.C. pitted wire fabric (N.W.F.), 2000 P.S.I. with fiber mesh reinforcing.
- 4.) CONCRETE FILLED CELLS  
With 1-#4 vertical rebar tied to footer steel at each corner and every 4' O.C.
- 5.) GATES  
OPaque MATERIAL  
(Stiles and posts constructed and installed per applicable building code by licensed fence contractor).
- 6.) DROP PIN  
1-1/2" dia. 18" long metal rod gate latch. Provide 3/4" dia. hole 6" into concrete for rods. In asphalt provide 3/4" P.V.C. sleeve, 6" long, or equal.
- 7.) SOIL  
Soil bearing capacity to be at least 2,000 P.S.F.
- 8.) BOLLARD  
3'-0" high, 6" diameter steel pipe bollard filled with concrete, painted traffic yellow, embedded 3'-0" deep in 18" concrete foundation. See Architectural Plans for bollard locations.
- 9.) DRAINAGE  
a.) 2-#4 rebar @ 12" O.C. pitted wire fabric (N.W.F.), 2000 P.S.I. with fiber mesh reinforcing.  
b.) 2-#4 rebar @ 12" O.C. pitted wire fabric (N.W.F.), 2000 P.S.I. with fiber mesh reinforcing.
- 10.) REINFORCED CONCRETE DUMPSTER PAD  
N.T.S.



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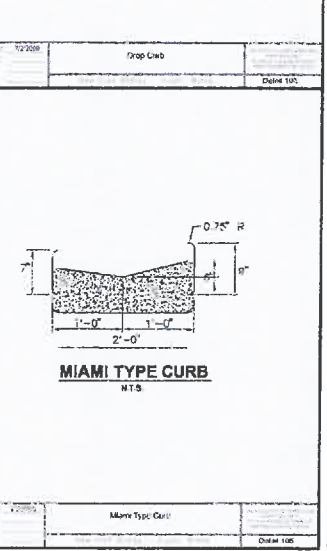
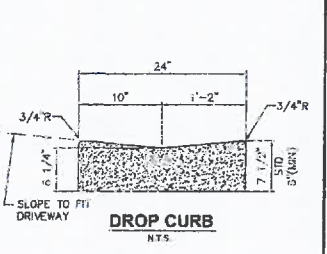
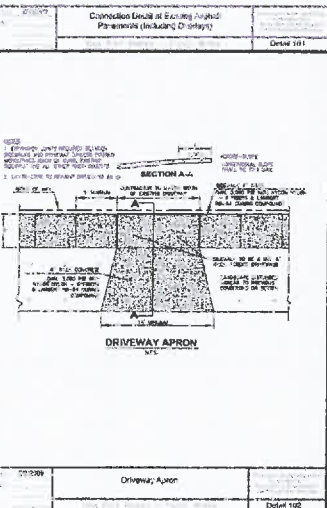
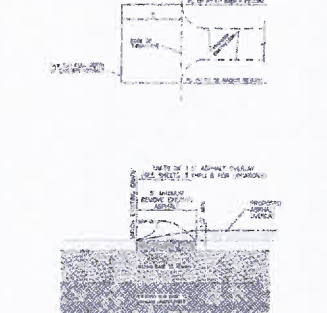
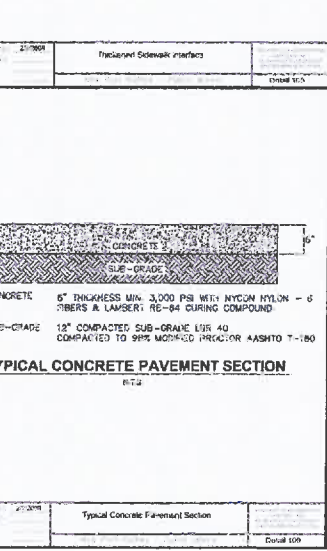
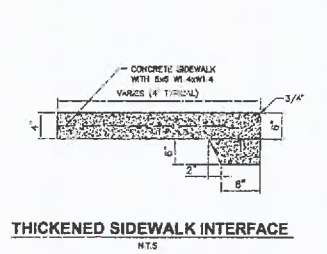
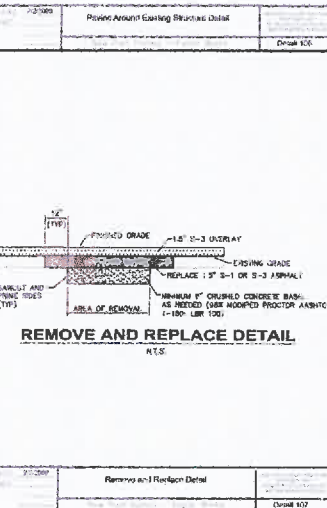
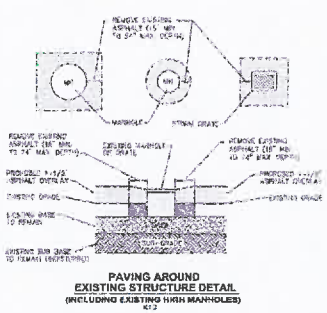
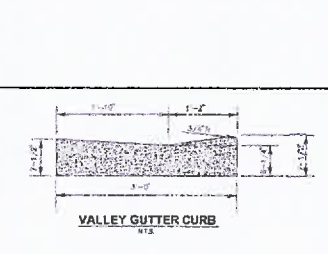
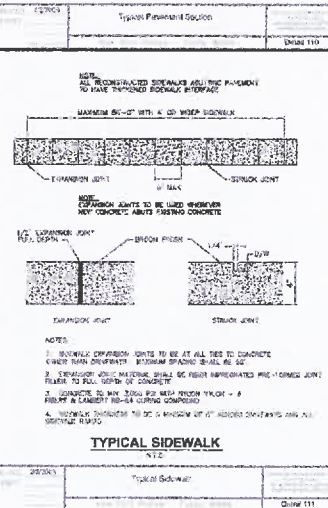
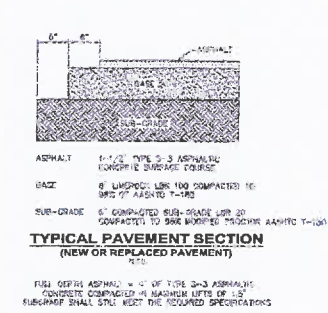
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MAR 22 2017

DEVELOPMENT DEPARTMENT

CITY OF NEW PORT RICHEY

Approved by DRC 3.23.17



SITE DETAILS

RESIDENCES AT ORANGE LAKE

6571 CIRCLE BOULEVARD

NEW PORT RICHEY FL 34652

GREGORY B. WIEGNER, P.E.

P.E. #5676

COASTAL

DESIGN CONSULTANTS

PLANNING • ENGINEERING • CONSTRUCTION ADMINISTRATION

7026 LITTLE ROAD • NEW PORT RICHEY, FLORIDA 34654

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02/22/2017	GBW	1	REVISED TO ADDRESS CITY COMMENTS
DATE	REV. BY	REV. NO.	REVISION
02/22/2017	GBW	1	REVISED TO ADDRESS CITY COMMENTS

Designed By: G.B.W. | Drawn By: ALG

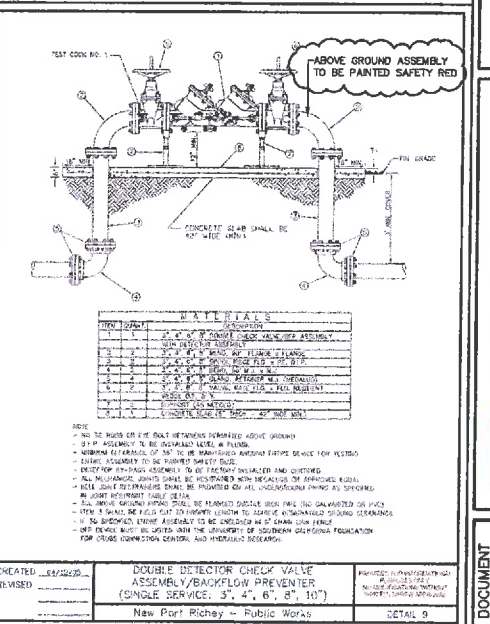
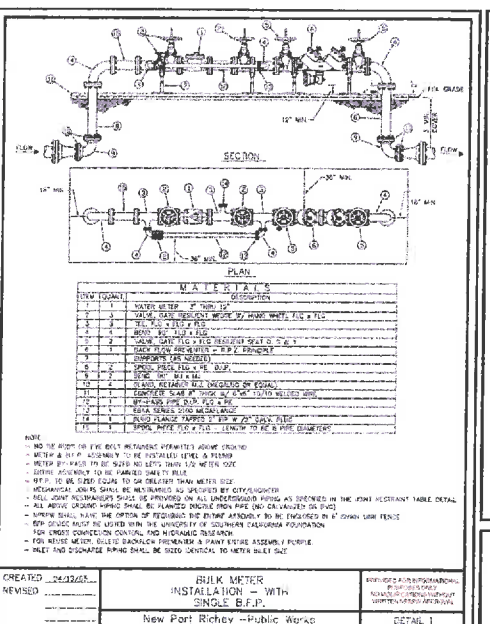
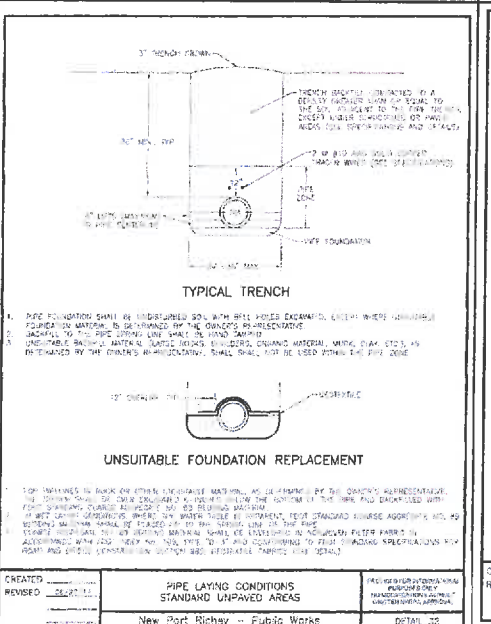
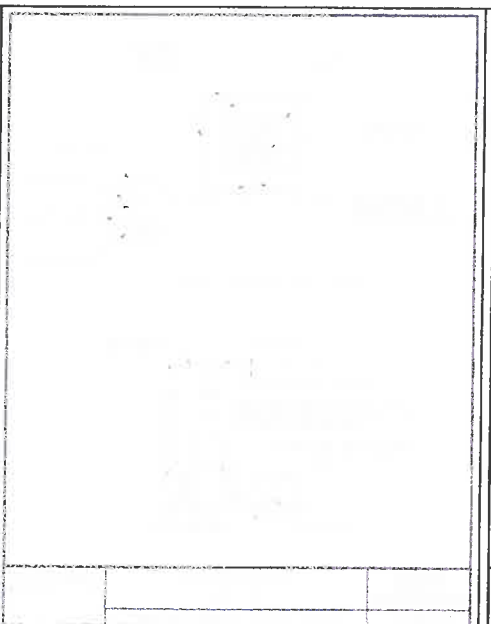
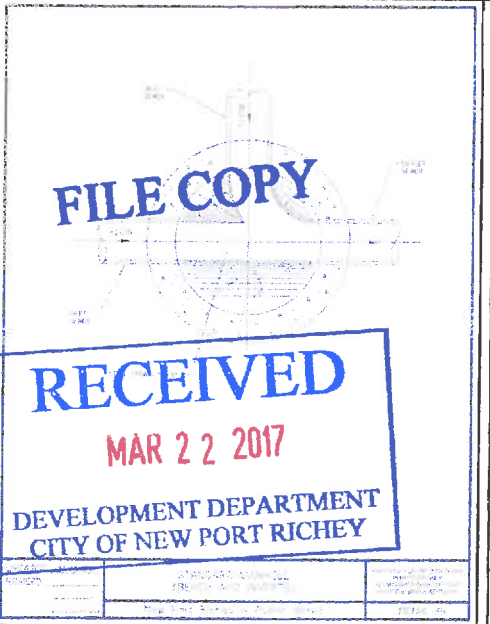
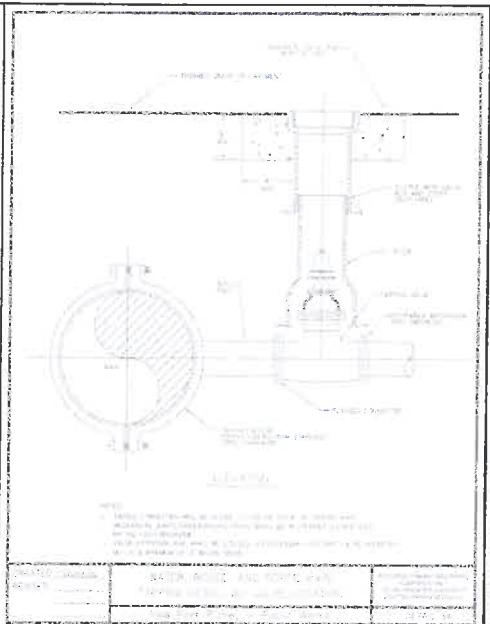
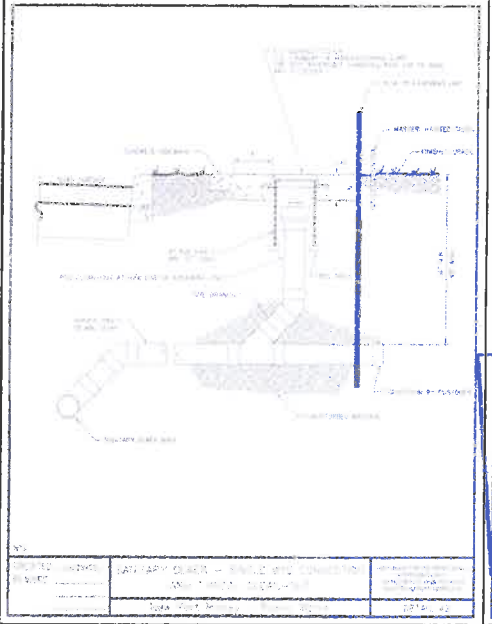
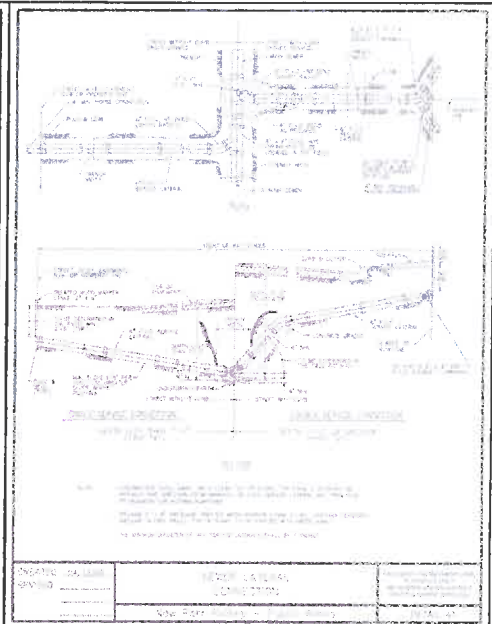
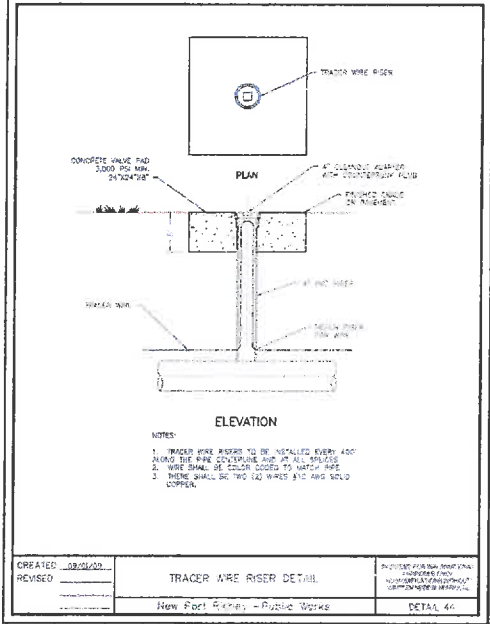
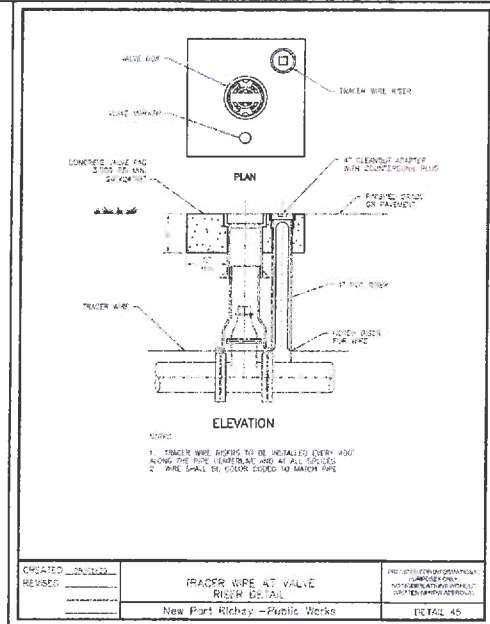
DATE: 05-17-2016

SHEET

C7.0

JOB NO.: 16021





**PIPE RESTRAINT LENGTHS IN FEET  
COMMON FITTINGS**

PIPE SIZE	WATER MAINS - TEST PRESSURE 150 PSI				
	11-1/4"	22-1/2"	45"	90"	DEAD END
4"	2'	4'	8'	20'	45'
6"	3'	6'	12'	28'	63'
8"	4'	8'	16'	36'	82'
10"	5'	10'	21'	43'	98'
12"	6'	12'	26'	50'	116'
16"	8'	16'	32'	63'	148'
20"	10'	20'	40'	78'	179'
24"	12'	24'	48'	94'	208'

PIPE SIZE	FORCE MAINS - TEST PRESSURE 100 PSI				
	11-1/4"	22-1/2"	45"	90"	DEAD END
4"	1'	3'	6'	13'	30'
6"	2'	4'	8'	19'	42'
8"	3'	6'	12'	24'	55'
10"	4'	8'	16'	29'	68'
12"	5'	10'	20'	34'	77'
16"	7'	14'	28'	42'	99'
20"	9'	18'	36'	50'	119'
24"	11'	22'	44'	58'	139'

RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE FITTING ALONG THE PIPE IN BOTH DIRECTIONS (EXCEPT DEAD ENDS).

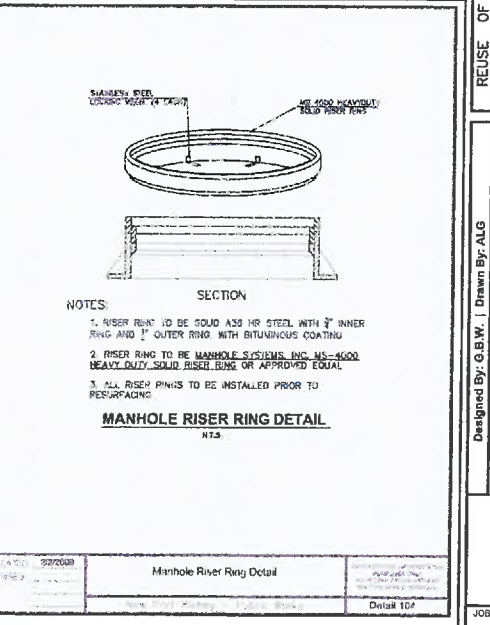
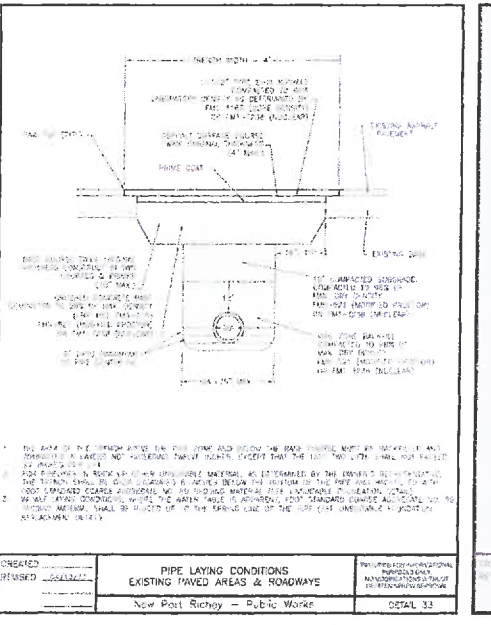
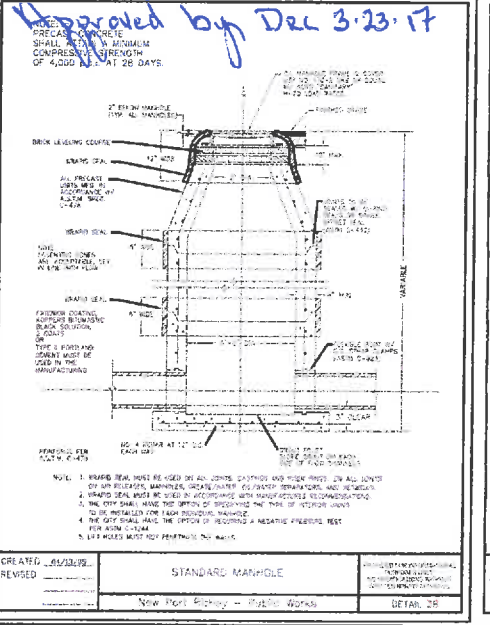
**PIPE RESTRAINT LENGTHS IN FEET  
TEES (BRANCH SIDE)**

RUN SIZE	WATER MAINS - TEST PRESSURE 150 PSI											
	3"	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"	42"
3"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
4"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
6"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
8"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
10"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
12"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
16"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
20"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
24"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'

RUN SIZE	FORCE MAINS - TEST PRESSURE 100 PSI											
	3"	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"	42"
3"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
4"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
6"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
8"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
10"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
12"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
16"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
20"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'
24"	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'	1'

RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE TEE ALONG THE BRANCH FOR THE DISTANCE INDICATED. A MINIMUM OF 6 FEET OF RESTRAINED PIPE MUST BE INSTALLED ON BOTH SIDES OF THE TEE. MEDIAL TEE TYPE RESTRAINTS ARE REQUIRED ON ALL JOINTS.



**UTILITY DETAILS**

**RESIDENCES AT ORANGE LAKE**  
**6571 CIRCLE BOULEVARD**  
**NEW PORT RICHEY FL 34652**

**COASTAL DESIGN CONSULTANTS**  
 PLANNING • ENGINEERING • CONSTRUCTION ADMINISTRATION  
 7026 LITTLE ROAD • NEW PORT RICHEY, FLORIDA 34652  
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**DESIGNED BY: S.B.W. | Drawn By: A.G.**

DATE	REV. BY	REV. NO.	REVISION
02/01/2017	CBW	1	REVISED TO ADDRESS CITY COMMENTS

**SHEET**  
**C8.0**

**JOB No: 16021**

**DATE: 05-17-2016**







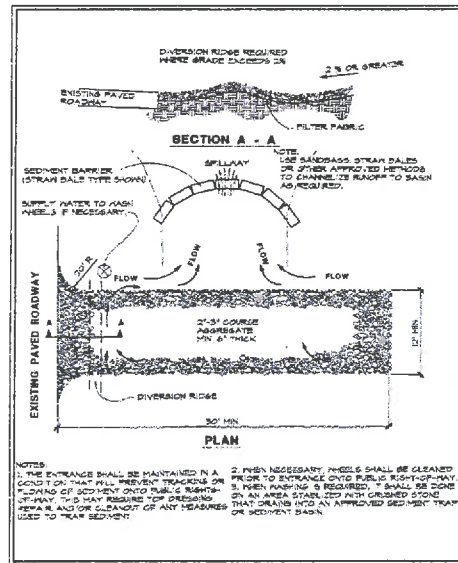


Figure 4.3a. Temporary Gravel Construction Entrance  
Source: FHWA, 2000

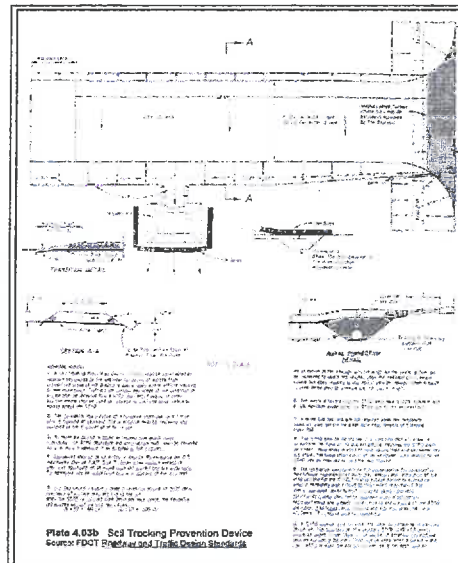


Figure 4.3b. Soil Tracking Prevention Device  
Source: FHWA, 2000

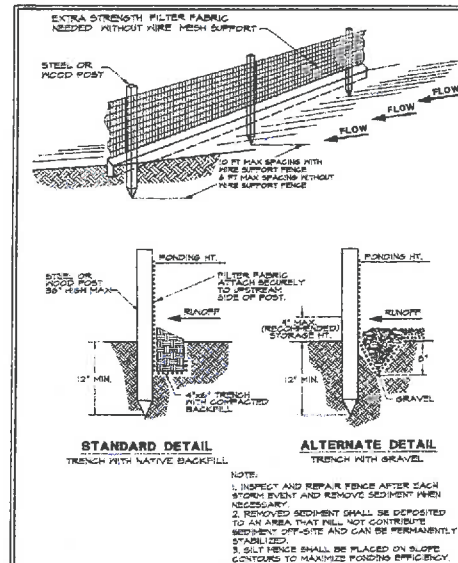


Figure 4.4a. Silt Fence  
Source: FHWA, 2000

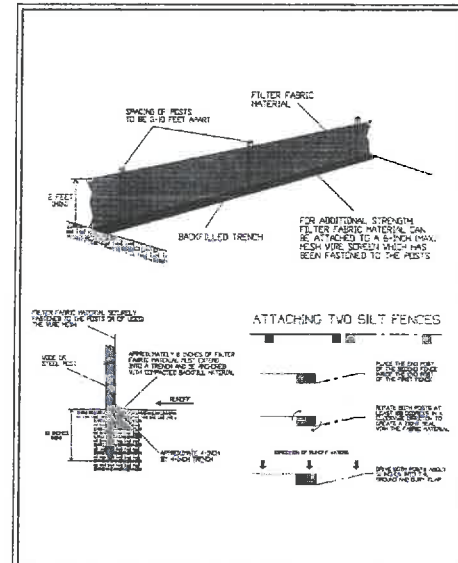


Figure 4.4b. Installing a Filter Fabric Silt Fence  
Source: FHWA, 2000

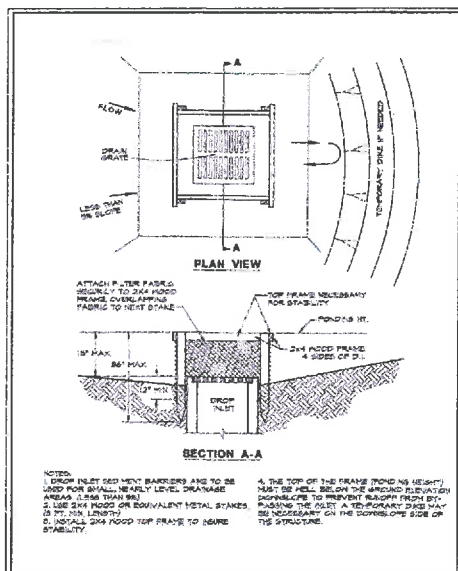


Figure 4.5a. Silt Fence Drop Inlet Sediment Barrier  
Source: FHWA, 2000

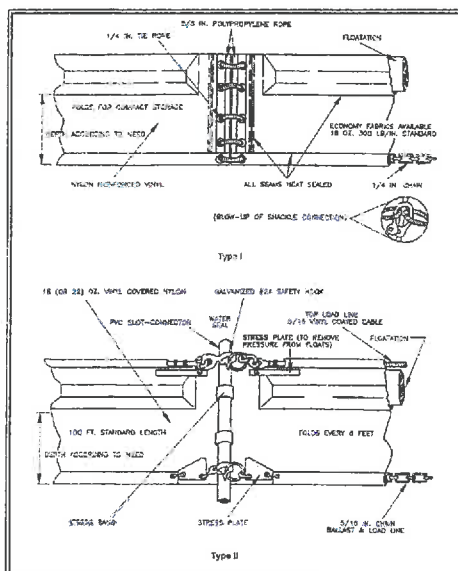


Figure 4.4i. Type I and II Floating Turbidity Barriers  
Source: FHWA, 2000

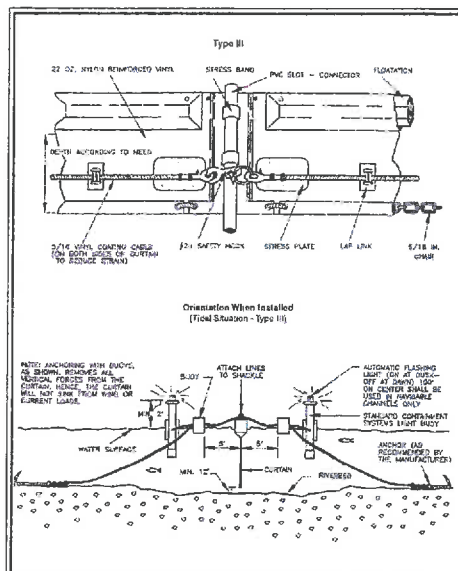


Figure 4.4m. Type III Floating Turbidity Barrier  
Source: FHWA, 2000

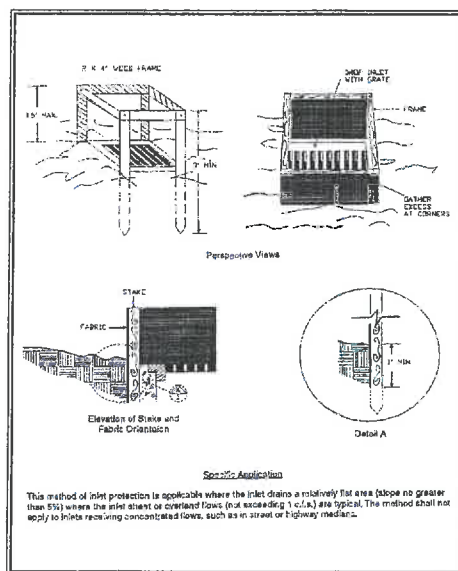


Figure 4.5b. Filter Fabric Drop Inlet Sediment Filter  
Source: FHWA, 2000

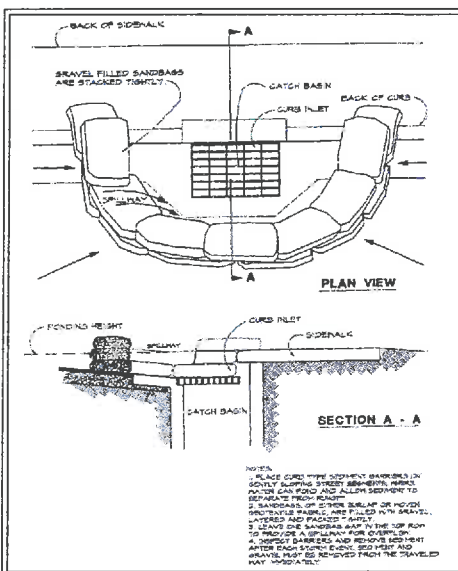


Figure 4.5k. Curb Inlet Sediment Barrier  
Source: FHWA, 2000

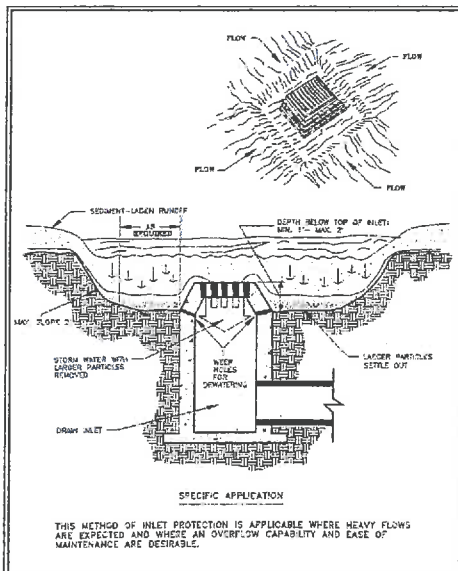


Figure 4.6e. Excavated Drop Inlet Sediment Trap  
Source: FHWA, 2000

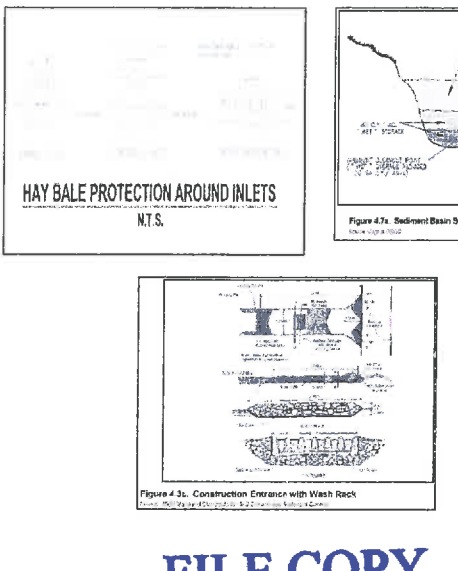


Figure 4.3c. Construction Entrance with Wash Rack  
Source: FHWA, 2000

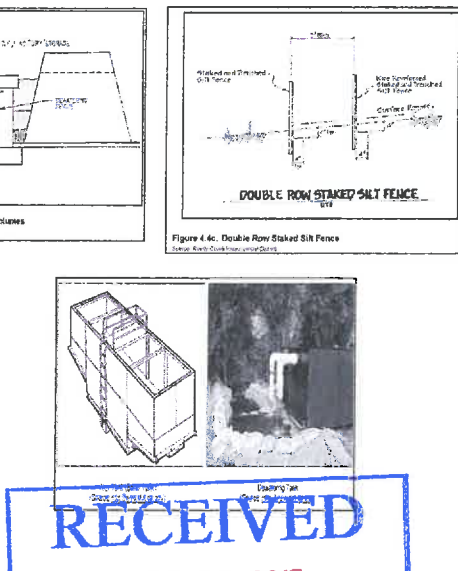


Figure 4.4c. Double Row Staked Silt Fence  
Source: FHWA, 2000

# NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM DETAILS

RESIDENCES AT ORANGE LAKE  
SECTION 05 TOWNSHIP 26 S RANGE 16 E

PREPARED FOR:  
PEOPLE PLACES, LLC  
3104 ALACHUA PLACE  
NEW PORT RICHEY,  
FL, 34655

APPROVED BY:  
APPROVERS  
INFORMATION  
HERE

DATE: \_\_\_\_\_  
DES: \_\_\_\_\_  
DRN: \_\_\_\_\_  
CKD: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
JOB NO: \_\_\_\_\_

**COASTAL**  
DESIGN CONSULTANTS

Coastal Design Consultants, Inc.  
PLANNING, ENGINEERING, CONSTRUCTION ADMINISTRATION  
7025 LITTLE ROAD • NEW PORT RICHEY, FLORIDA 34654  
727-849-8010 • FAX 727-849-8020  
WWW.COASTALDESIGN.COM

SHEET  
D2

2 OF 2

NATIONAL POLLUTANT DISCHARGE  
ELIMINATION SYSTEM DETAILS  
RESIDENCES AT ORANGE LAKE  
6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FL 34652

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DATE	REV. NO.	REVISION
02/22/2017	1	REVISED TO ADDRESS CITY COMMENTS

DESIGNED BY: G.B.W. | DRAWN BY: ALG  
DATE: 05-17-2016  
SHEET 16021

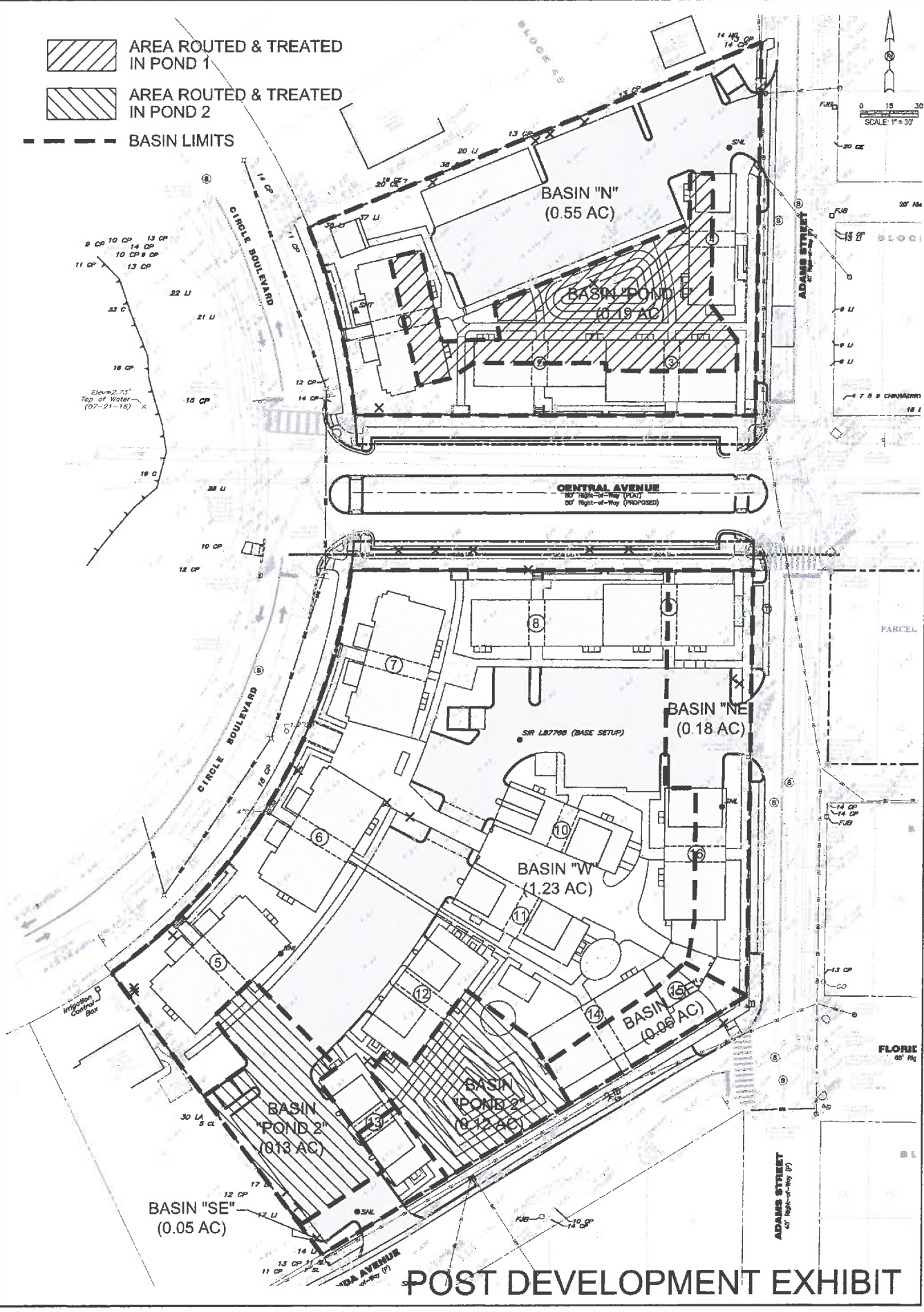
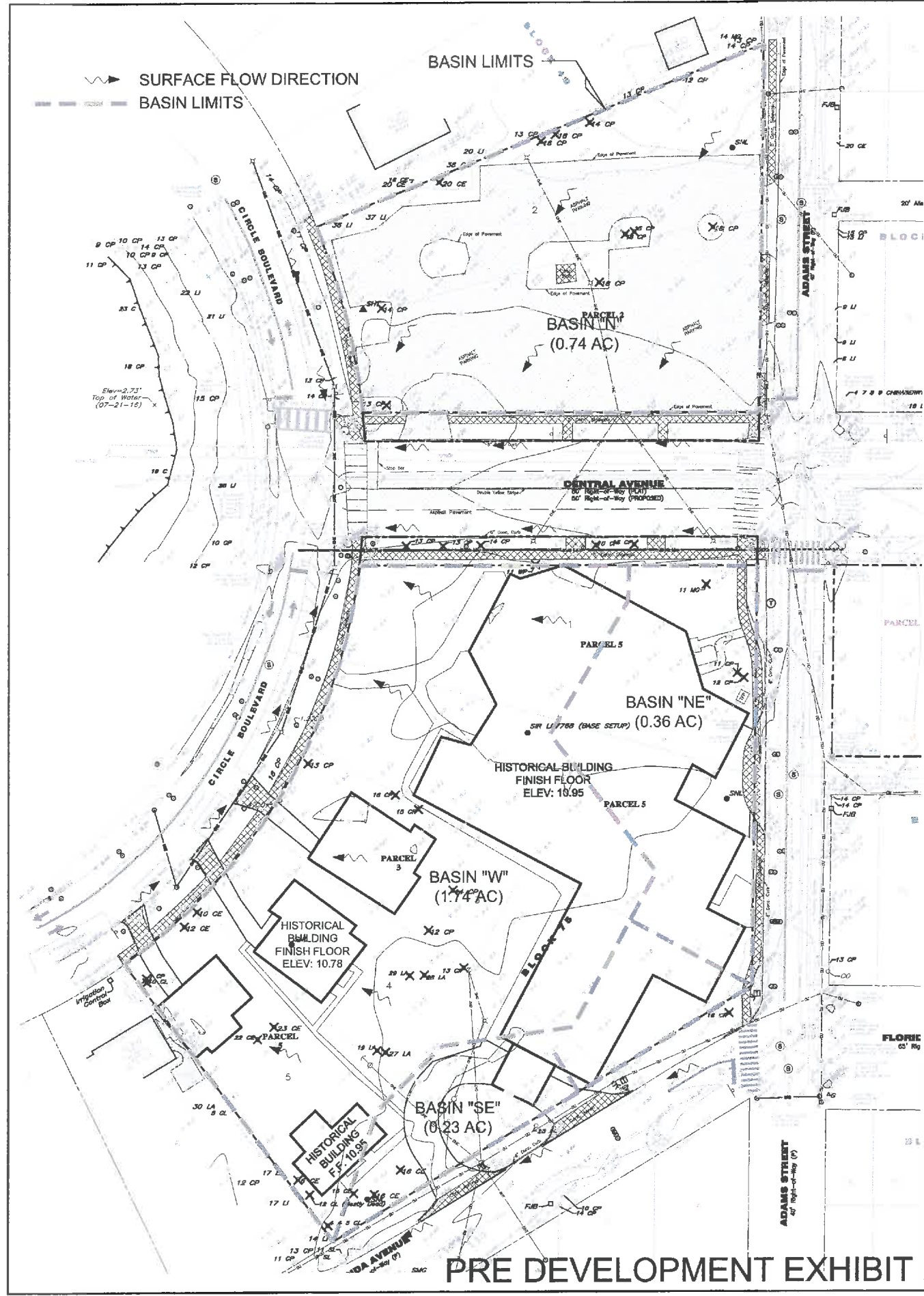
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CITY OF NEW PORT RICHEY



C:\Users\jgallagher\Documents\Projects\16021\_03\_PRE-POST PLAN.dwg, 3/15/2017 10:05:58 AM, DWG To PDF.pc3

Project: 16021\_03\_PRE-POST PLAN.dwg, 3/15/2017 10:05:58 AM, DWG To PDF.pc3



**PRE & POST DEVELOPMENT PLAN**

**RESIDENCES AT ORANGE LAKE**  
6571 CIRCLE BOULEVARD  
NEW PORT RICHEY FL 34652

**COASTAL DESIGN CONSULTANTS**  
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DATE: 03/22/2017  
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REVISION TO ADDRESS CITY COMMENTS

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MAR 22 2017  
DATE: 03-17-2016

**SHEET D3**

JOB NO.: 16021

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DEVELOPMENT DEPARTMENT  
CITY OF NEW PORT RICHEY

Approved by DRC 3.13.17



## Plant List

### Trees

23 x AR: Acer rubrum (Florida Maple)- 45 gal  
18 x TD: Taxodium distichum (Bald Cypress)- 45 gal  
1 x BN: Betula nigra (River Birch)- 45 gal  
8 x QV: Quercus virginiana (Live Oak)- 45 gal  
1 x QG: Quercus geminata (Scrub Oak)- 45 gal  
19 x PP: Pinus palustris (Longleaf Pine)- 15 gal

### Palms

29 x SP: Sabal palmetto (Cabbage Palm)- Grade #1; 15' tall; field grown

### Shrubs

PA: Plumbago auriculata (Plumbago)- 2 gal  
8 x VO: Viburnum obovatum (Walters Viburnum)- 30 gal  
4 x MF: Myrcianthes fragrans (Simpson's Stopper)- 30 gal  
FS: Forestiera segregata (Florida Privet)- 10 gal  
1 x IV: Ilex vomitoria (Yaupon Holly)- 30 gal  
Ph B: Philodendron bipinnatifidum 'Hope' (Philodendron)- 5 gal  
Ph S: Philodendron selloum (Philodendron Selloum)- 5 gal  
LF: Leucophyllum frutescens (Silverleaf Texas Sage)- 2 gal  
8 x LC: Loropetalum chinensis 'Plum' (Ruby Loropetalum)- 3 gal  
1 x LH: Lagerstroemia indica (Crepe Myrtle)

### Grasses

AS: Aristida stricta (Wiregrass)- 3 gal  
PS: Pennisetum Setaceum (White Fountain Grass)- 3 gal  
MC: Muhlenbergia capillaris (Pink Muhly Grass)- 3 gal  
TF: Tripsacum floridana (Fakahatchee grass)- 3 gal  
Tr d: Tripsacum dactyloides (Dwarf Fakahatchee grass)- 3 gal

### Groundcover

AG: Arachis glabrata (Perennial peanut)- 2.5 qt  
TA: Trachelospermum asiaticum 'Summer Sunset' (Summer Sunset Asiatic Jasmine)- 2.5qt  
LM: Liriope muscari (Liriope)- 2.5 qt  
NE: Nephrolepis exalta (Sword Fern)- 2.5 qt  
AE: Aspidistra elatior (Cast Iron Plant)- 2.5 qt  
ZP: Zamia pumila (Coontie)- 2.5 qt

### Herbs/Wildflowers

RO: Rosmarinus officinalis (Rosemary)- 1/2 gal  
MS: Mentha spicata (Spearment, English Mint)- pots only  
Lsp: Liatris spp.- seeds  
GP: Gaillardia pulchella (Blanketflower)- seeds

### Wetland Plants

SG: Solidago gigantea (Giant Goldenrod)- seeds  
IH: Iris hexagona (Louisiana Iris)- seeds

### Vines

TJ: Trachelospermum jasminoides (Confederate jasmine)- 1 gal

## Tree Replacement

### Phase 1 Trees to be removed:

7 x Sabal palmetto(Cabbage Palms); good health  
1 x Juniperus virginiana(Southern Red Cedar); 20" DBH; poor health  
Total shade tree DBH removed: 20"

### Phase 1 Tree Replacement:

4 x Taxodium distichum(Bald Cypress); 3" DBH, minimum 8' tall; 45 gallon= 12" DBH  
3 x Quercus virginiana(Live Oak); 4" DBH; 100 gallon= 12" DBH  
Total shade tree DBH replaced: 24"

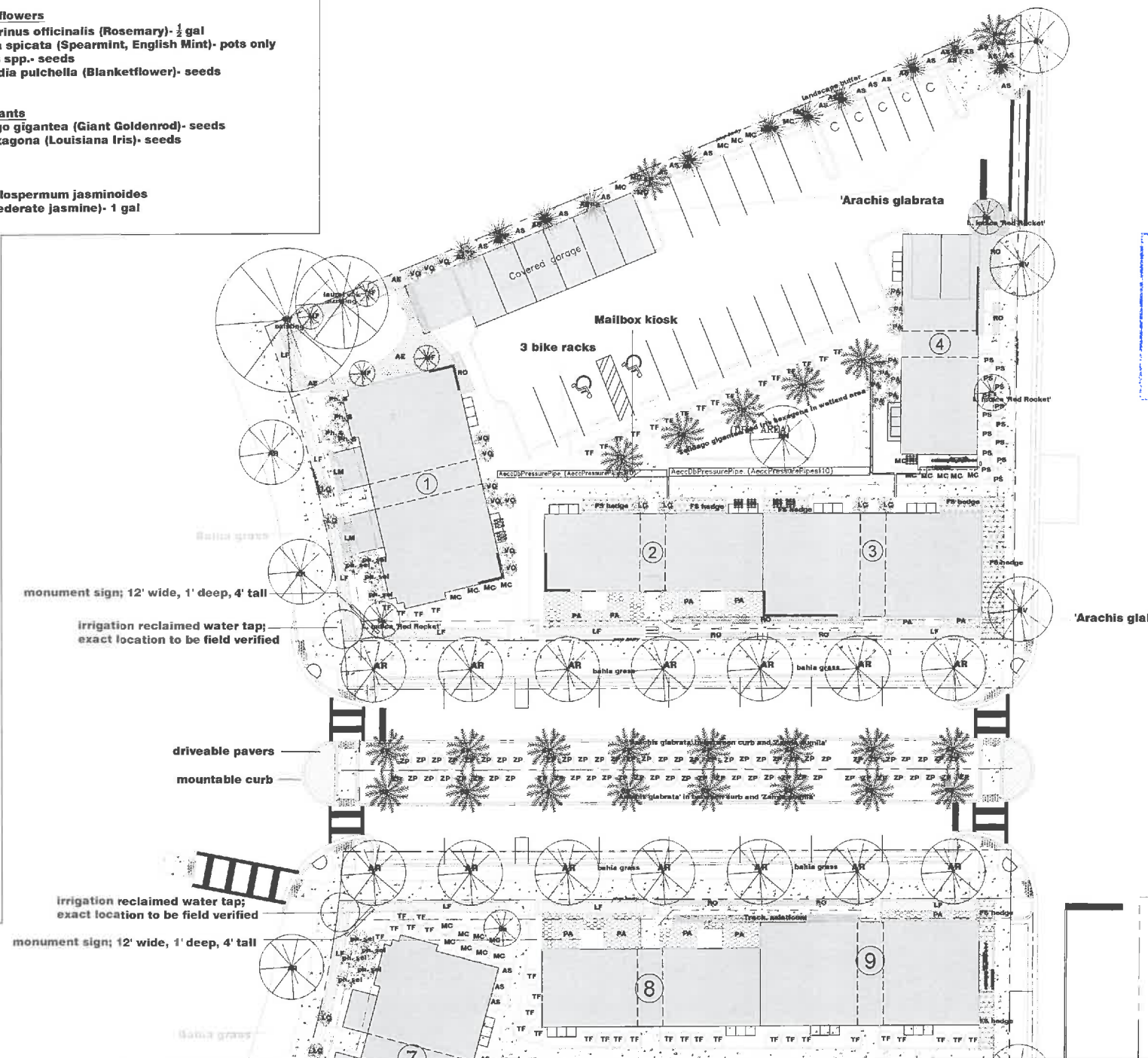
### Phase 2 Trees to be removed:

15 x Sabal palmetto(Cabbage Palms); average health  
1 x Washingtonia robusta(Washington Palm); poor health  
1 x Magnolia grandiflora(Southern Magnolia); 11" DBH; average health  
1 x Juniperus virginiana(Southern Red Cedar); 6" DBH; average health  
1 x Juniperus virginiana(Southern Red Cedar); 10" DBH; average health  
1 x Juniperus virginiana(Southern Red Cedar); 12" DBH; average health  
1 x Juniperus virginiana(Southern Red Cedar); 15" DBH; average health  
1 x Juniperus virginiana(Southern Red Cedar); 16" DBH; average health  
1 x Juniperus virginiana(Southern Red Cedar); 22" DBH; poor health  
1 x Juniperus virginiana(Southern Red Cedar); 23" DBH; poor health  
1 x Quercus laurifolia(Laurel Oak); 19" DBH; average health  
1 x Quercus laurifolia(Laurel Oak); 27" DBH; average health  
1 x Quercus laurifolia(Laurel Oak); 28" DBH; poor health  
1 x Quercus laurifolia(Laurel Oak); 29" DBH; poor health  
Total shade tree DBH removed: 218"

### Phase 2 Tree Replacement:

13 x Taxodium distichum(Bald Cypress); 6" DBH, 45 gal  
5 x Quercus virginiana(Live Oak); 5" DBH, 45 gal  
23 x Acer rubrum (Florida Maple); 5" DBH, 45 gal (both phases)  
1x quercus geminata (Scrub Oak); 6" DBH, 45 gal  
6 x Pinus palustris (Longleaf Pine); 2" DBH, 15 gal  
Total shade tree DBH replaced: 236"

Phase 1 and 2 total shade tree DBH removed: 238"  
Phase 1 and 2 total shade tree DBH replaced: 260"



### General Notes

Preliminary site plan approval

### Plant Legend

- palm tree or cypress
- shade tree
- pine tree
- medium shrub
- grasses or small shrub

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CITY OF NEW PORT RICHEY

SCALE 1" = 20'

Approved by DEC 3-23-17

No.	Revision/Issue	Date

Firm Name and Address  
People Places  
5742 Main St  
New Port Richey, FL 34652

Project Name and Address  
Residences at Orange Lake  
6571 Circle Blvd  
New Port Richey, FL 34652

Project	Phase 1	Sheet	LA1
Date	2/25/2017		
Scale	As Noted		

## Plant List

### Trees

23 x AR: *Acer rubrum* (Florida Maple)- 45 gal  
 18 x TD: *Taxodium distichum* (Bald Cypress)- 45 gal  
 1 x BN: *Betula nigra* (River Birch)- 45 gal  
 8 x QV: *Quercus virginiana* (Live Oak)- 45 gal  
 1 x QG: *Quercus geminata* (Scrub Oak)- 45 gal  
 19 x PP: *Pinus palustris* (Longleaf Pine)- 15 gal

### Palms

29 x SP: *Sabal palmetto* (Cabbage Palm)- Grade #1; 15' tall; field grown

### Shrubs

PA: *Plumbago auriculata* (Plumbago)- 2 gal  
 8 x VO: *Viburnum obovatum* (Walters Viburnum)- 30 gal  
 4 x MF: *Myrcianthes fragrans* (Simpson's Stopper)- 30 gal  
 FS: *Forestiera segregata* (Florida Privet)- 10 gal  
 1 x IV: *Ilex vomitoria* (Yaupon Holly)- 30 gal  
 Ph B: *Philodendron bipinnatifidum* 'Hope' (Philadendron)- 5 gal  
 Ph. S: *Philadendron selloum* (Philadendron Selloum)- 5 gal  
 LF: *Leucophyllum frutescens* (Silverleaf Texas Sage)- 2 gal  
 8 x LC: *Loropetalum chinensis* 'Plum' (Ruby Loropetalum)- 3 gal  
 1 x LI: *Lagerstroemia indica* (Crepe Myrtle)

### Grasses

AS: *Aristida stricta* (Wiregrass)- 3 gal  
 PS: *Pennisetum Setaceum* (White Fountain Grass)- 3 gal  
 MC: *Muhlenbergia capillaris* (Pink Muhly Grass)- 3 gal  
 TF: *Tripsacum floridana* (Fakahatchee grass)- 3 gal  
 Tr d: *Tripsacum dactyloides* (Dwarf Fakahatchee grass)- 3 gal

### Groundcover

AG: *Arachis glabrata* (Perennial peanut)- 2.5 qt  
 TA: *Trachelospermum asiaticum* 'Summer Sunset' (Summer Sunset Asiatic Jasmine)- 2.5qt  
 LM: *Liriope muscari* (Liriope)- 2.5 qt  
 NE: *Nephrolepis exalta* (Sword Fern)- 2.5 qt  
 AE: *Aspidistra elatior* (Cast Iron Plant)- 2.5 qt  
 ZP: *Zamia pumila* (Coontie)- 2.5 qt

### Herbs/Wildflowers

RO: *Rosmarinus officinalis* (Rosemary)- 1 gal  
 MS: *Mentha spicata* (Spearmint, English Mint)- pots only  
 Lsp: *Liatris* spp.- seeds  
 GP: *Gaillardia pulchella* (Blanketflower)- seeds

### Wetland Plants

SG: *Solidago gigantea* (Giant Goldenrod)- seeds  
 IH: *Iris hexagona* (Louisiana Iris)- seeds

### Vines

TJ: *Trachelospermum jasminoides* (Confederate jasmine)- 1 gal

## Tree Replacement

### Phase 1 Trees to be removed:

7 x *Sabal palmetto* (Cabbage Palms); good health  
 1 x *Juniperus virginiana* (Southern Red Cedar); 20" DBH; poor health  
 Total shade tree DBH removed: 20"

### Phase 1 Tree Replacement:

4 x *Taxodium distichum* (Bald Cypress); 3" DBH, minimum 8' tall; 45 gallon= 12" DBH  
 3 x *Quercus virginiana* (Live Oak); 4" DBH; 100 gallon= 12" DBH  
 Total shade tree DBH replaced: 24"

### Phase 2 Trees to be removed:

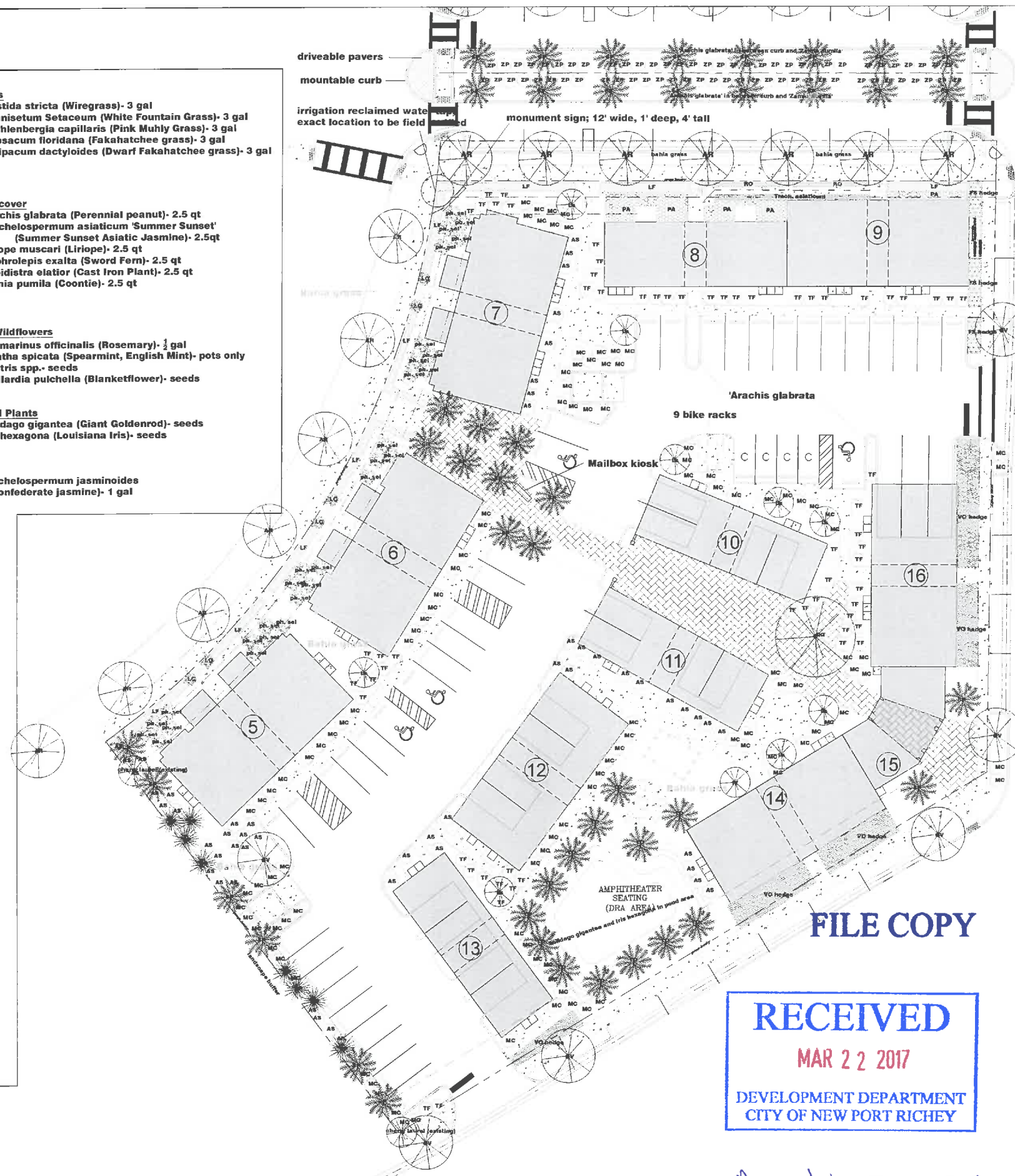
15 x *Sabal palmetto* (Cabbage Palms); average health  
 1 x *Washingtonia robusta* (Washington Palm); poor health  
 1 x *Magnolia grandiflora* (Southern Magnolia); 11" DBH; average health  
 1 x *Juniperus virginiana* (Southern Red Cedar); 6" DBH; average health  
 1 x *Juniperus virginiana* (Southern Red Cedar); 10" DBH; average health  
 1 x *Juniperus virginiana* (Southern Red Cedar); 12" DBH; average health  
 1 x *Juniperus virginiana* (Southern Red Cedar); 15" DBH; average health  
 1 x *Juniperus virginiana* (Southern Red Cedar); 16" DBH; average health  
 1 x *Juniperus virginiana* (Southern Red Cedar); 22" DBH; poor health  
 1 x *Juniperus virginiana* (Southern Red Cedar); 23" DBH; poor health  
 1 x *Quercus laurifolia* (Laurel Oak); 19" DBH; average health  
 1 x *Quercus laurifolia* (Laurel Oak); 27" DBH; average health  
 1 x *Quercus laurifolia* (Laurel Oak); 28" DBH; poor health  
 1 x *Quercus laurifolia* (Laurel Oak); 29" DBH; poor health  
 Total shade tree DBH removed: 218"

### Phase 2 Tree Replacement:

13 x *Taxodium distichum* (Bald Cypress); 6" DBH, 45 gal  
 5 x *Quercus virginiana* (Live Oak); 5" DBH, 45 gal  
 23 x *Acer rubrum* (Florida Maple); 5" DBH, 45 gal (both phases)  
 1 x *quercus geminata* (Scrub Oak); 6" DBH, 45 gal  
 6 x *Pinus palustris* (Longleaf Pine); 2" DBH, 15 gal  
 Total shade tree DBH replaced: 236"

Phase 1 and 2 total shade tree DBH removed: 238"

Phase 1 and 2 total shade tree DBH replaced: 260"



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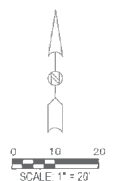
Approved by DRE 3.23.17  
DB

### General Notes

Preliminary site plan approval

### Plant Legend

- palm tree or cypress
- shade tree
- pine tree
- medium shrub
- grasses or small shrub



No.	Revision/Issue	Date

### Firm Name and Address

People Places  
 5742 Main St  
 New Port Richey, FL 34652

### Project Name and Address

Residences at Orange Lake  
 6571 Circle Blvd  
 New Port Richey, FL 34652

### Project

Phase 2

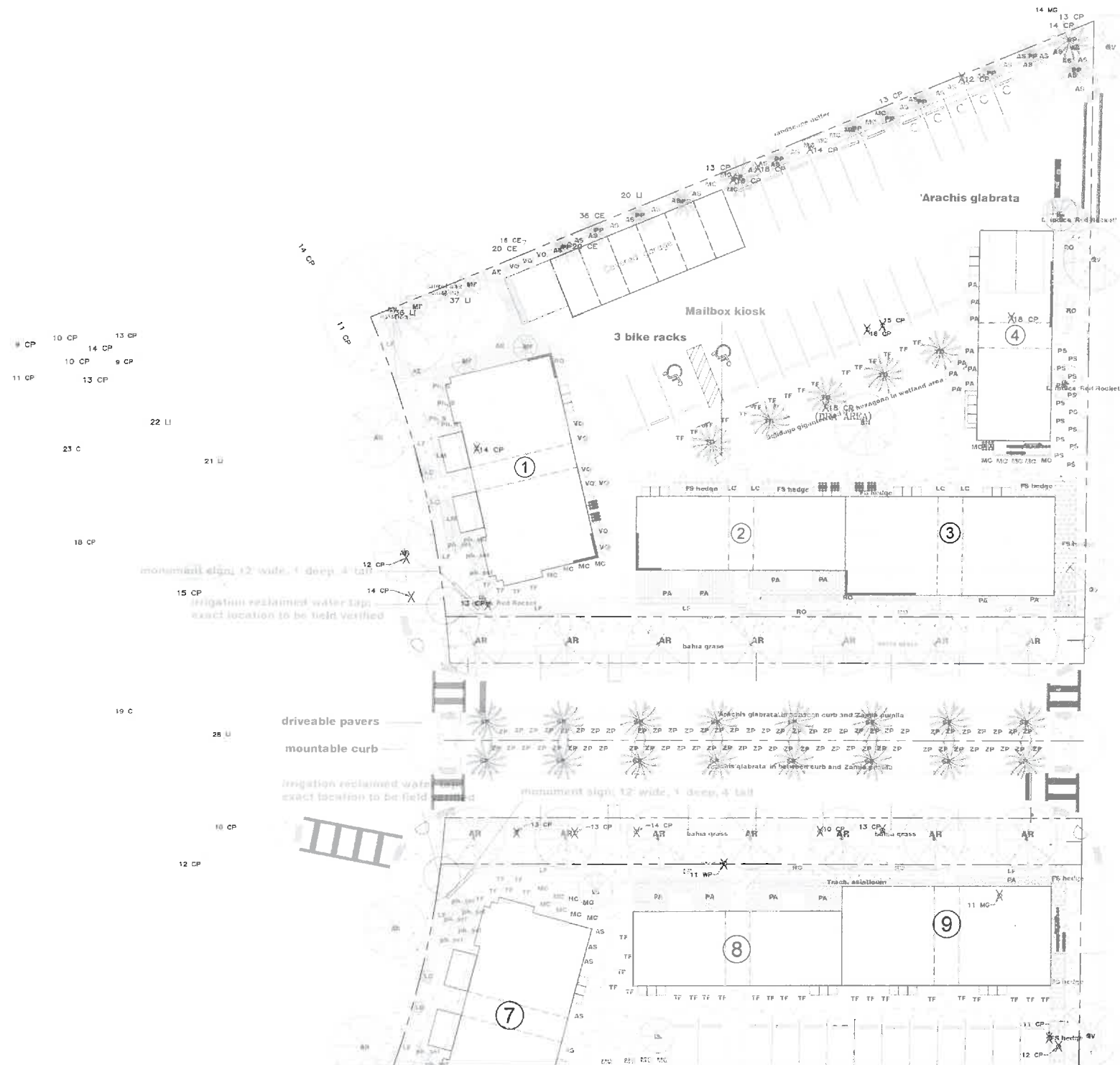
Date  
 2/25/2017

Scale  
 As Noted

### Sheet

LA2





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**CITY OF NEW PORT RICHEY**

*Approved by Dec 2.23.17*

General Notes

Preliminary site plan approval

Tree Demo and Replacement

**Plant Legend**

- palm tree or cypress
- shade tree
- pine tree
- medium shrub
- grasses or small shrub

**Tree Demo Legend**

- C- cypress
- CE- Cedar tree
- CL- Cherry Laurel
- CP- Cabbage Palm
- LA- Laurel Oak
- LI- Live Oak
- MG- Southern Magnolia
- SL- Slash Pine
- WP- Washington Palm
- X- to be removed

North arrow and scale bar.

No.	Revision/Issue	Date

**Firm Name and Address**

People Places  
5742 Main St  
New Port Richey, FL 34652

**Project Name and Address**

Residences at Orange Lake  
6571 Circle Blvd  
New Port Richey, FL 34652

Project	Sheet
Date 2/25/2017	LA3
Scale As Noted	



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 CITY OF NEW PORT RICHEY

Approved by DEC 3.23.17  
*[Signature]*

General Notes

Preliminary site plan approval

Tree Demo and Replacement

**Plant Legend**

- palm tree or cypress
- shade tree
- pine tree
- medium shrub
- grasses or small shrub

**Tree Demo Legend**

- C- cypress
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- CL- Cherry Laurel
- CP- Cabbage Palm
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- LI- Live Oak
- MG- Southern Magnolia
- SL- Slash Pine
- WP- Washington Palm
- X- to be removed

No.	Revision/Issue	Date

Firm Name and Address

People Places  
 5742 Main St  
 New Port Richey, FL 34652

Project Name and Address

Residences at Orange Lake  
 6571 Circle Blvd  
 New Port Richey, FL 34652

Project	Sheet
Date 2/25/2017	LA4
Scale As Noted	

General Notes

Preliminary site plan approval

Construction Details



Scale as noted

No.	Revision/Issue	Date

Firm Name and Address

People Places  
5742 Main St  
New Port Richey, FL 34652

Project Name and Address

Residences at Orange Lake  
6571 Circle Blvd  
New Port Richey, FL 34652

Project

Date  
2/25/2017

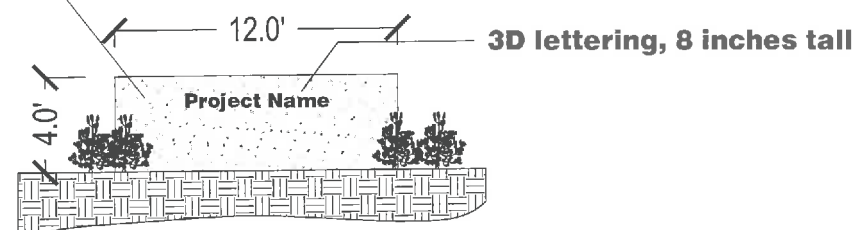
Scale  
As Noted

Sheet

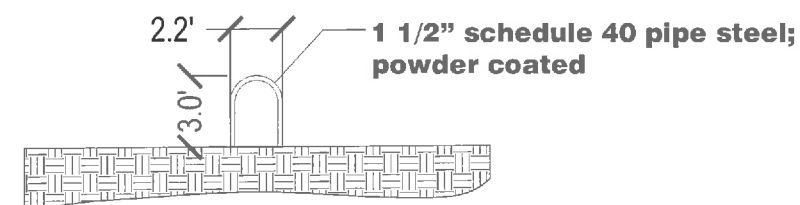
LA5

**Momument Sign**

concrete block wall with  
smooth stucco finish; white

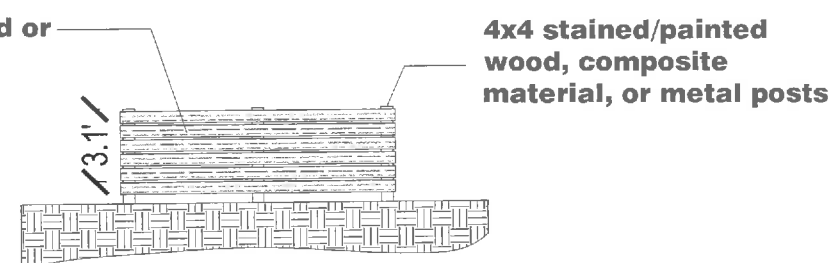


**Bike Rack Detail**

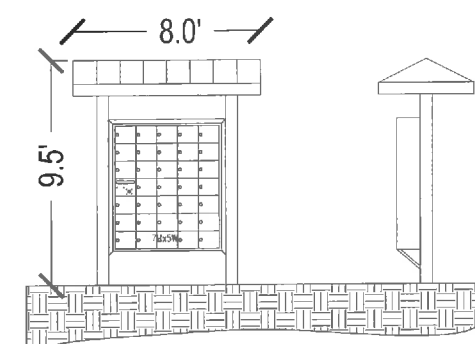


**Typical Mech Equipment Screening**

1x6 stained/painted wood or  
composite material



**Mailbox Kiosk**



Front elev

side elev

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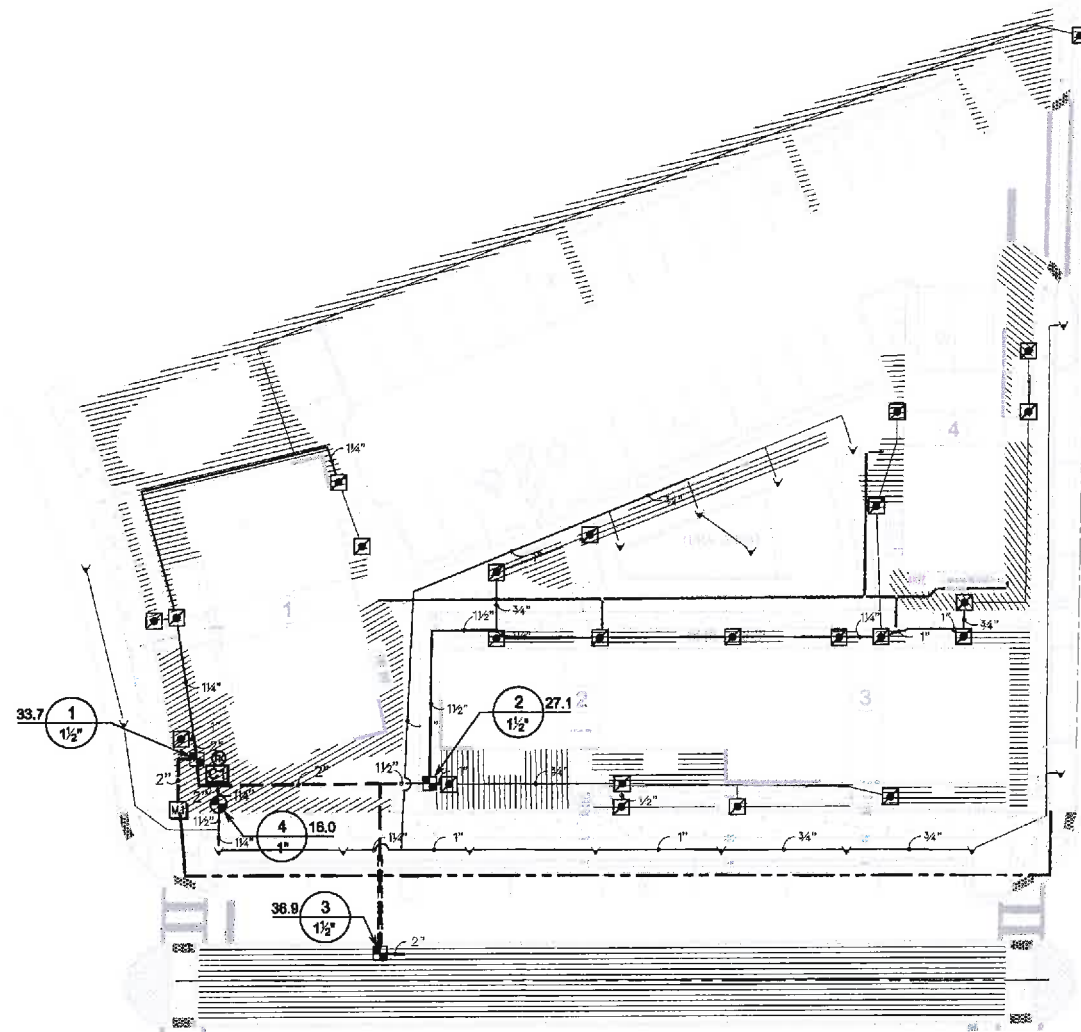
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CITY OF NEW PORT RICHEY

Approved by *DRL* 3.23.17



16 March 2017 8:00am P:\Design Center\Design Projects\Orange Lake Apartments\101 Orange Lake.dwg Layout = 101  
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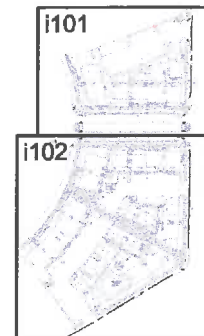
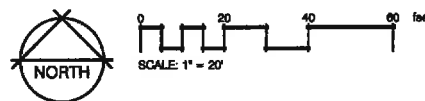
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CITY OF NEW PORT RICHEY

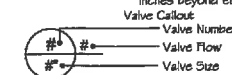
Approved by Dec 3, 2017



Sheet Key

## IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	FSI
	Hunter PROS-00-PCN Flood Bubbler, on fixed riser.	60	20
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Hunter ICZ-151-40 1-1/2" Drip Control Zone Kit. 1-1/2" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 40psi. Flow Range: 20 GPM to 60 GPM. 120 mesh stainless steel screen.	6	
	Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with riser in 6" (150mm) drip box.	73	
	Area to Receive Dripline Hunter PLD-R-OG-12 (12) In-Line Pressure Compensating Landscape Dripline with Built-In Check Valve. 0.6GPH emitters at 12.0" O.C. Dripline laterals spaced at 12.0" apart, with emitters offset for triangular pattern. UV Resistant. Purple Tubing for Reclaimed Water Use.	22,758 s.f.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Hunter ICV-G 1" 1", 1-1/2", 2", and 3" Plastic Electro Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	2	
	Hunter ACC-2400 24 Station Outdoor Modular Controller. With two ACM-600 modules. High-End Commercial Use. Metal Cabinet.	1	
	Hunter ACC-2400 24 Station Outdoor Modular Controller. With two ACM-600 modules. High-End Commercial Use. Metal Cabinet.	1	
	Hunter MINI-CLK Rain Sensor, mount as noted	2	
	Water Meter 2" Reclaim Meter Ph2	1	
	Water Meter 2" Reclaim Meter Ph2	1	
---	Irrigation Lateral Line: PVC Schedule 40 1/2" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	1,812 l.f.	
---	Irrigation Lateral Line: PVC Schedule 40 3/4" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	397.3 l.f.	
---	Irrigation Lateral Line: PVC Schedule 40 1" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	792.6 l.f.	
---	Irrigation Lateral Line: PVC Schedule 40 1 1/4" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	547.7 l.f.	
---	Irrigation Lateral Line: PVC Schedule 40 1 1/2" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	183.8 l.f.	
---	Irrigation Lateral Line: PVC Schedule 40 2" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	515.7 l.f.	
---	Irrigation Lateral Line: PVC Schedule 40 2 1/2" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	300.7 l.f.	
---	Irrigation Lateral Line: PVC Schedule 40 3" PVC Schedule 40 Purple irrigation pipe. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	180.8 l.f.	
---	Irrigation Mainline: PVC Schedule 40 1 1/4" Purple Pipe	4.5 l.f.	
---	Irrigation Mainline: PVC Schedule 40 1 1/2" Purple Pipe	11.7 l.f.	
---	Irrigation Mainline: PVC Schedule 40 2" Purple Pipe	114.6 l.f.	
---	Irrigation Mainline: PVC Schedule 40 2 1/2" Purple Pipe	175.0 l.f.	
---	Pipe Sleeves: PVC Class 200 SDR 21 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	20.9 l.f.	
---	Pipe Sleeves: PVC Class 200 SDR 21 6" Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	103.0 l.f.	



ORANGE LAKE  
APARTMENTS  
NEW PORT RICHEY FLORIDA

Prepared for:  
**PEOPLE PLACES  
STUDIO**  
5742 MARY STREET  
NEW PORT RICHEY, FL 34642

Prepared by:  
  
**Cornerstone**  
14602 Gateway Square Blvd  
Dade City, Florida 33528  
ph 888.617.2228  
fx 888.617.0008  
Landscape Architecture  
Landscape Planning  
Landscape Design  
FL Reg #00000488

Mark A. Whitaker,  
Landscape Architect  
FL #00000028  
SCALE: AS SHOWN  
DATE: 2-24-17  
PIN: DC588  
PROJ MGR: MAW

Phase 1  
Irrigation Plan

i101





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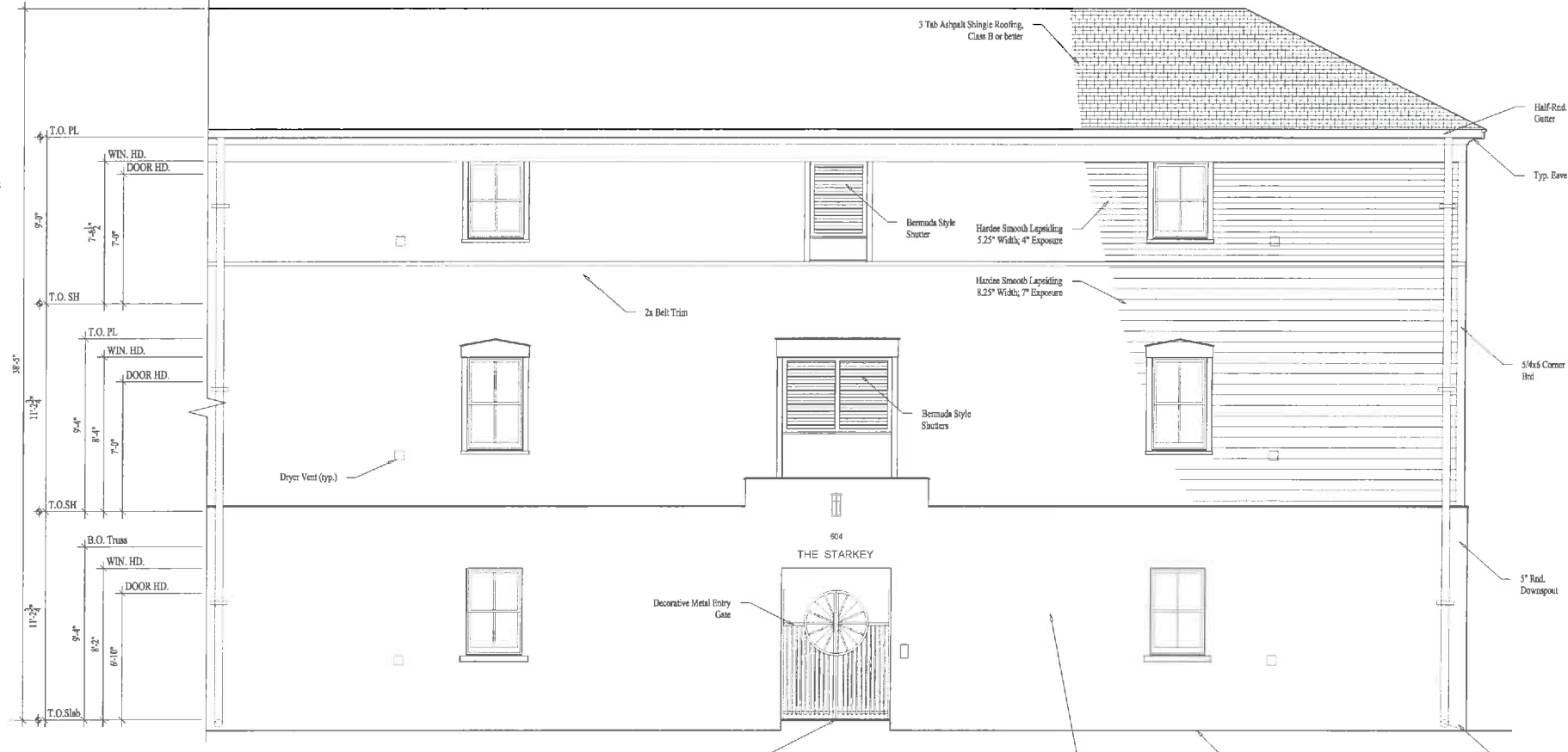
Approved by *[Signature]* 3.23.17



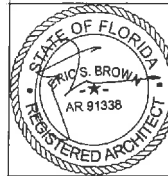
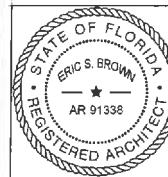
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A3.0 1/4"=1'-0"



3 WEST ELEVATION  
A3.0 1/4"=1'-0"



1 NORTH ELEVATION  
A3.0 1/4"=1'-0"



Type A - 1BD  
Orange Lake  
New Port Richey, FL

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urban design  
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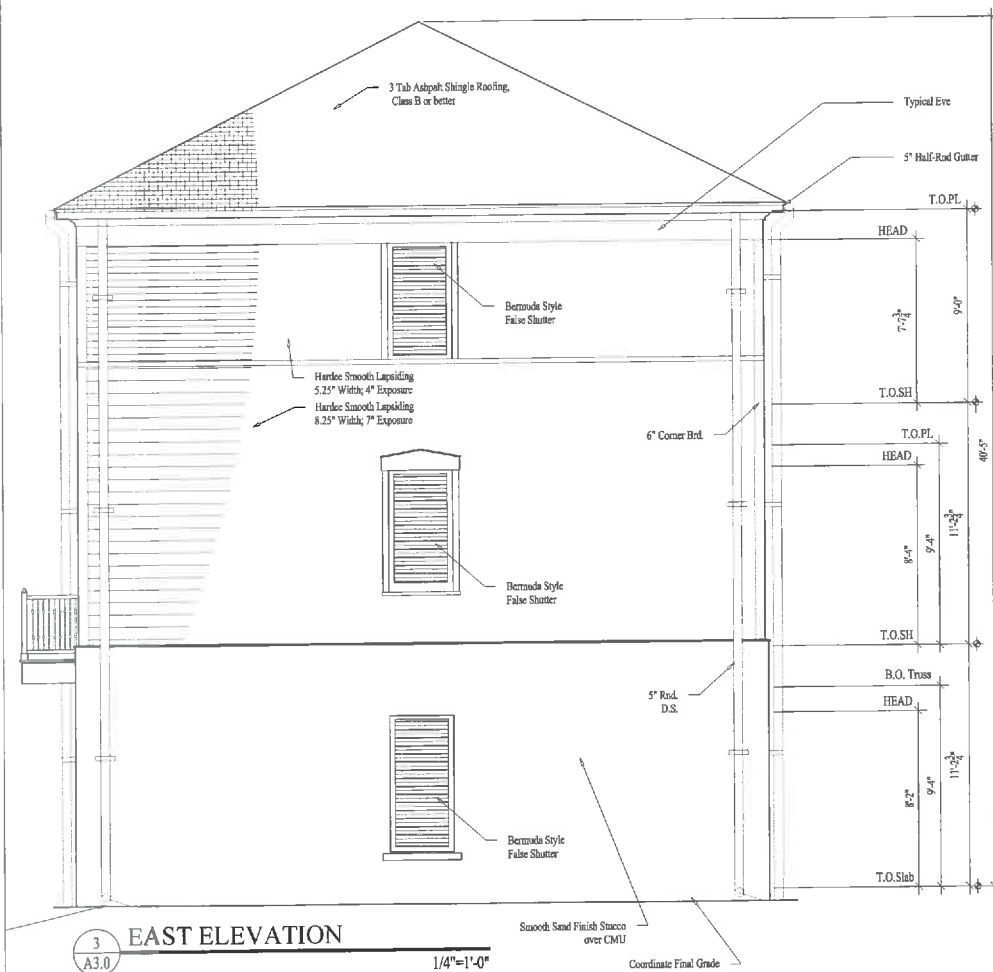
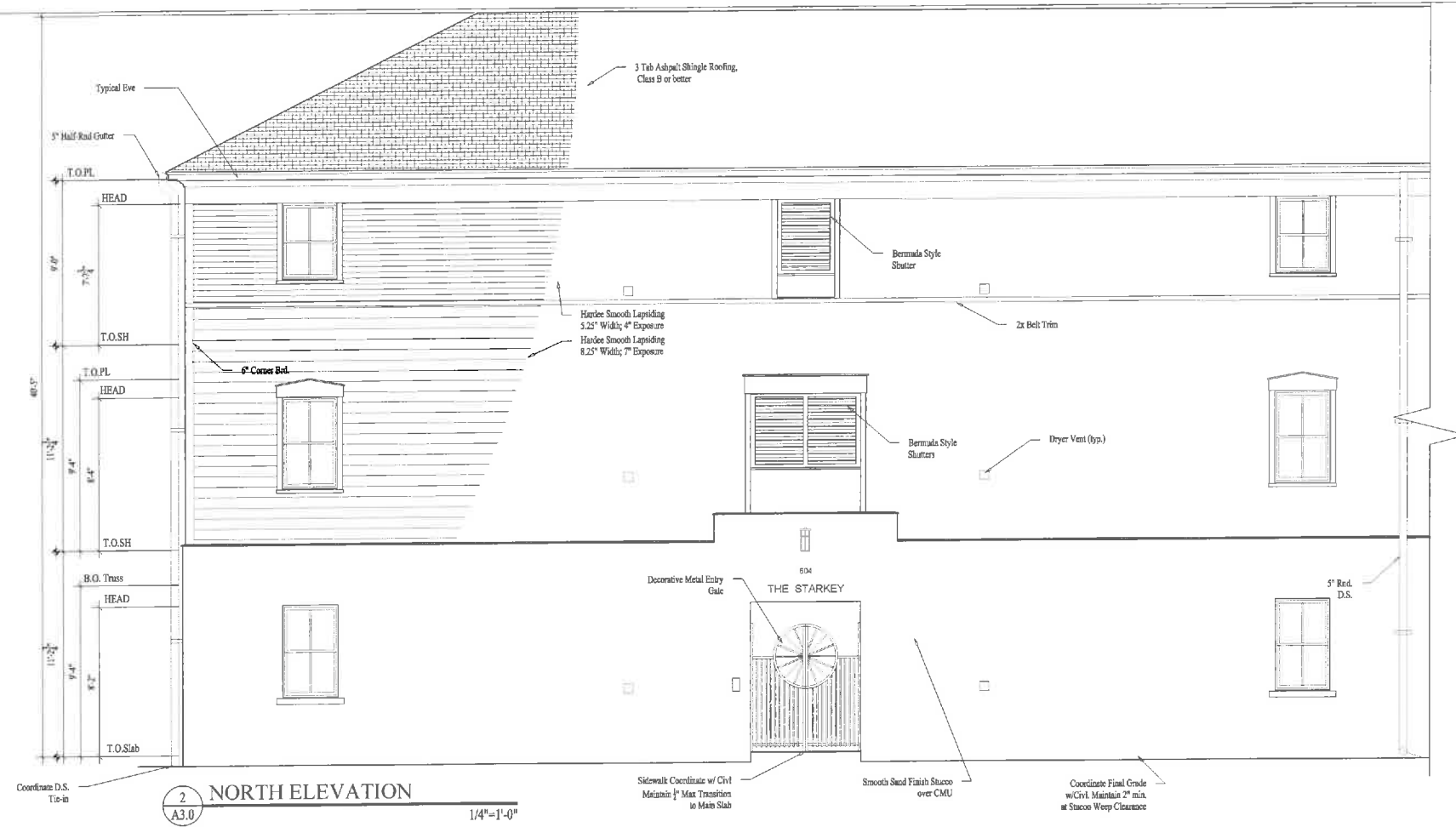
DATE	NOTES
11/17/16	COORDINATION
12/06/16	PRICING SET
2/24/17	DRC Prelim Review

A3.0



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CITY OF NEW PORT RICHEY

Approved by Dec 3.23.17



Type B - 2BD  
Orange Lake  
New Port Richey, FL

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24 dayton st. suite 604 savannah, georgia 31401  
p. 912.349.5628 www.browns.com

DATE	NOTES
08/25/16	SCHEMATIC
09/23/16	COORDINATION
09/27/16	COORDINATION
11/17/16	COORDINATION
12/08/16	PRICING SET
02/24/17	DRC Prelim. Review

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CITY OF NEW PORT RICHEY

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*DL*

Type C - 2Bed  
Orange Lake  
New Port Richee, FL



Brown Design Studio  
architecture

urban design

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p. 912.349.5628 www.browns.com

DATE	NOTES
08/25/16	SCHEMATIC
11/16/16	Coordination
12/20/16	Pricing Set
02/24/17	DRC Prelim. Review

A3.0

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CITY OF NEW PORT RICHEY

Approved by DRC 3.23.17



1 East Elevation  
A3.1 1/4"=1'-0"

Type C - 2Bed  
Orange Lake  
New Port Richey, FL

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24 drayton st. suite 604 savannah, georgia 31401  
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DATE	NOTES
08/25/16	SCHEMATIC
11/16/16	Coordination
12/20/16	Pricing Set
02/24/17	DRC Prelim. Review

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Type C - 2Bed  
Orange Lake  
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DATE	NOTES
08/25/16	SCHEMATIC
11/16/16	Coordination
12/20/16	Pricing Set
02/24/17	DRC Prelim Review

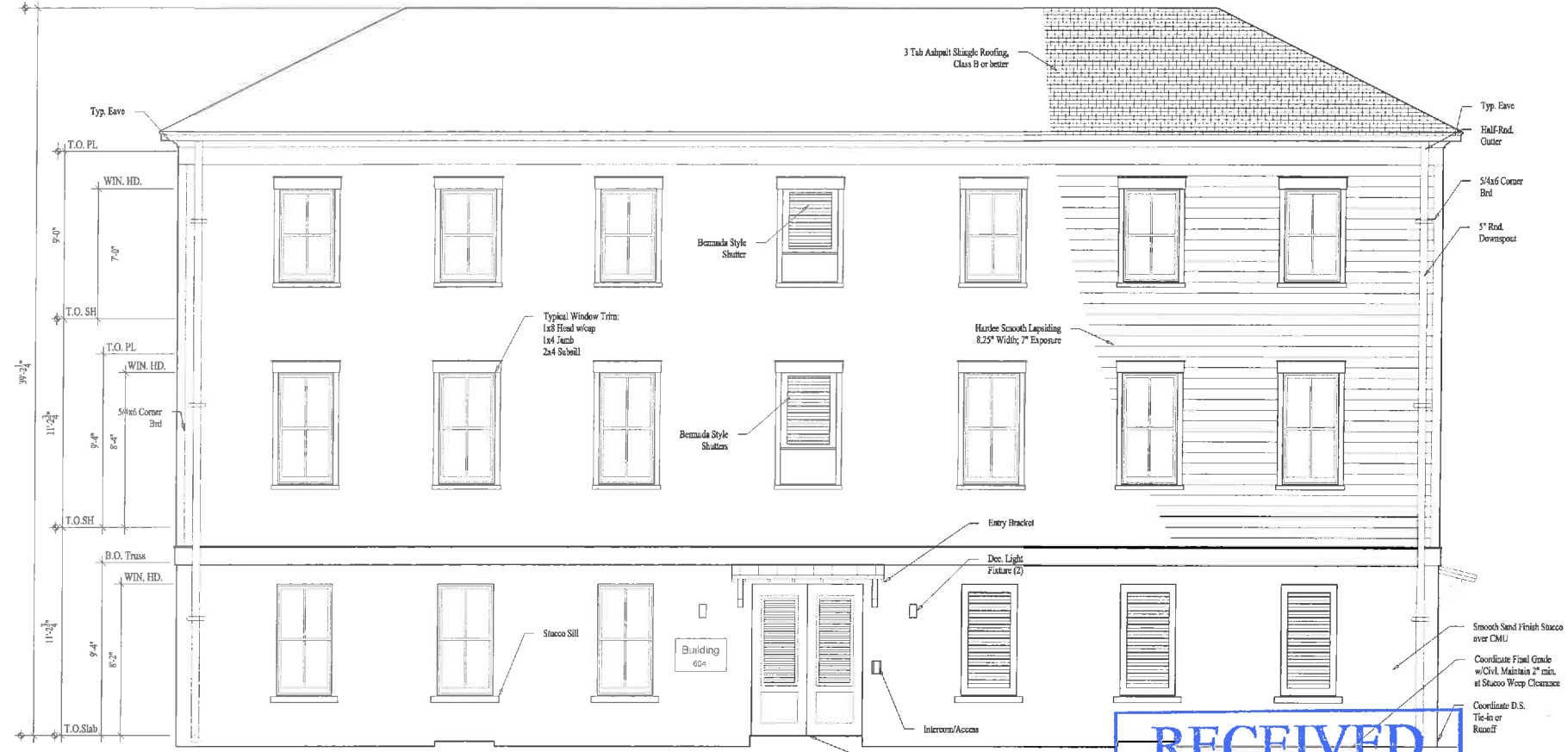






4 SOUTH ELEVATION

1/4"=1'-0"



2 EAST ELEVATION

1/4"=1'-0"

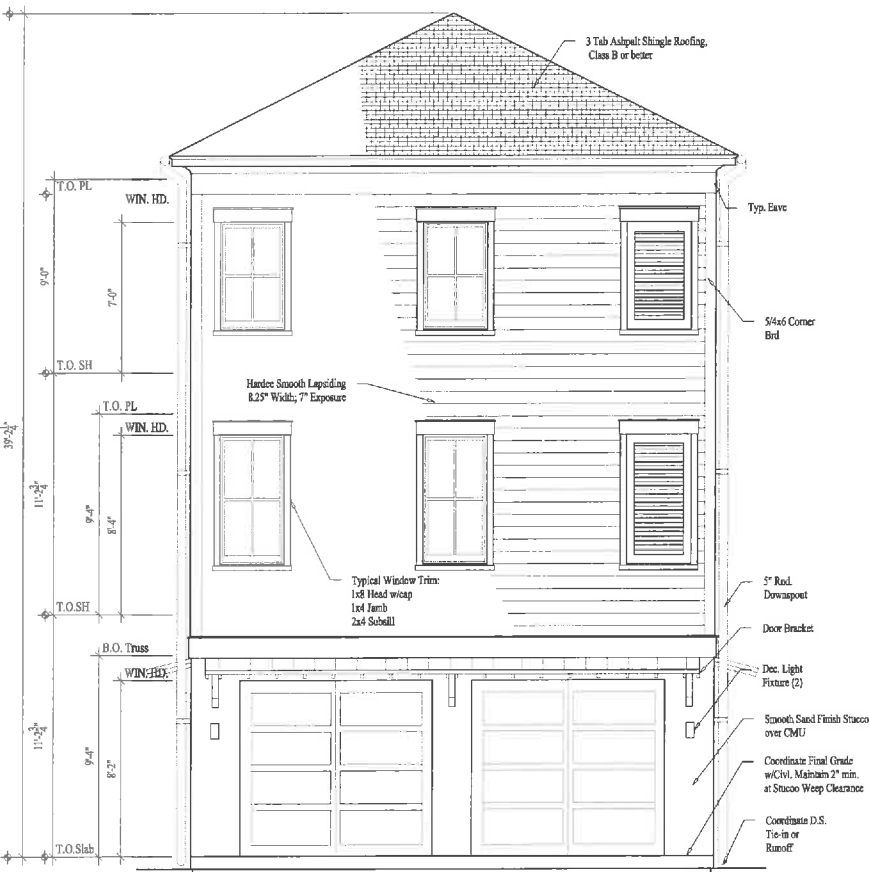
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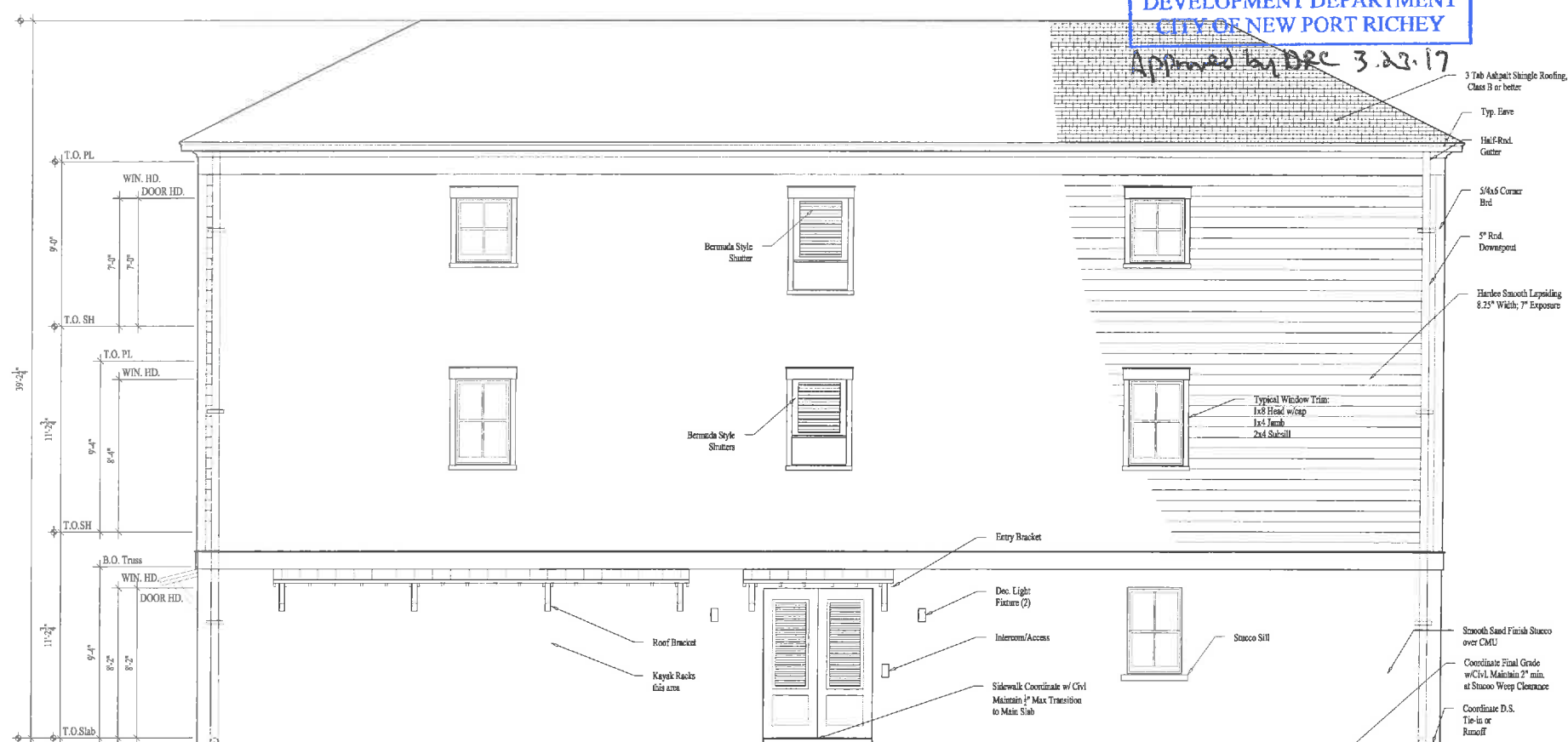
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CITY OF NEW PORT RICHEY

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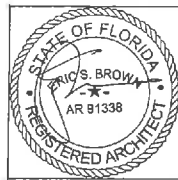
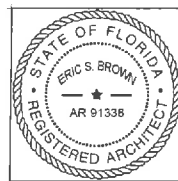
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1/4"=1'-0"



1 WEST ELEVATION

1/4"=1'-0"



Type D - 1BD  
Orange Lake  
New Port Richee, FL

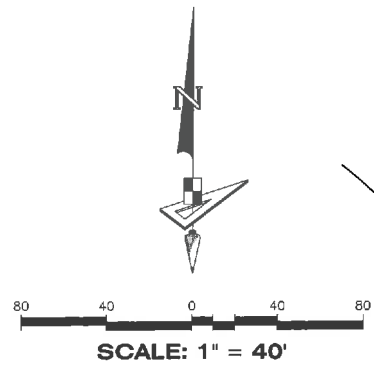
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24 drayton st. suite 604 savannah, georgia 31401  
p. 912.349.3628 www.brownsds.com

DATE	NOTES
08/25/16	SCHEMATIC
09/21/16	COORDINATION
09/27/16	COORDINATION
11/17/16	COORDINATION
12/06/16	PRICING SET
12/19/16	PRICING SET
02/24/17	DRC.Prelim.Review

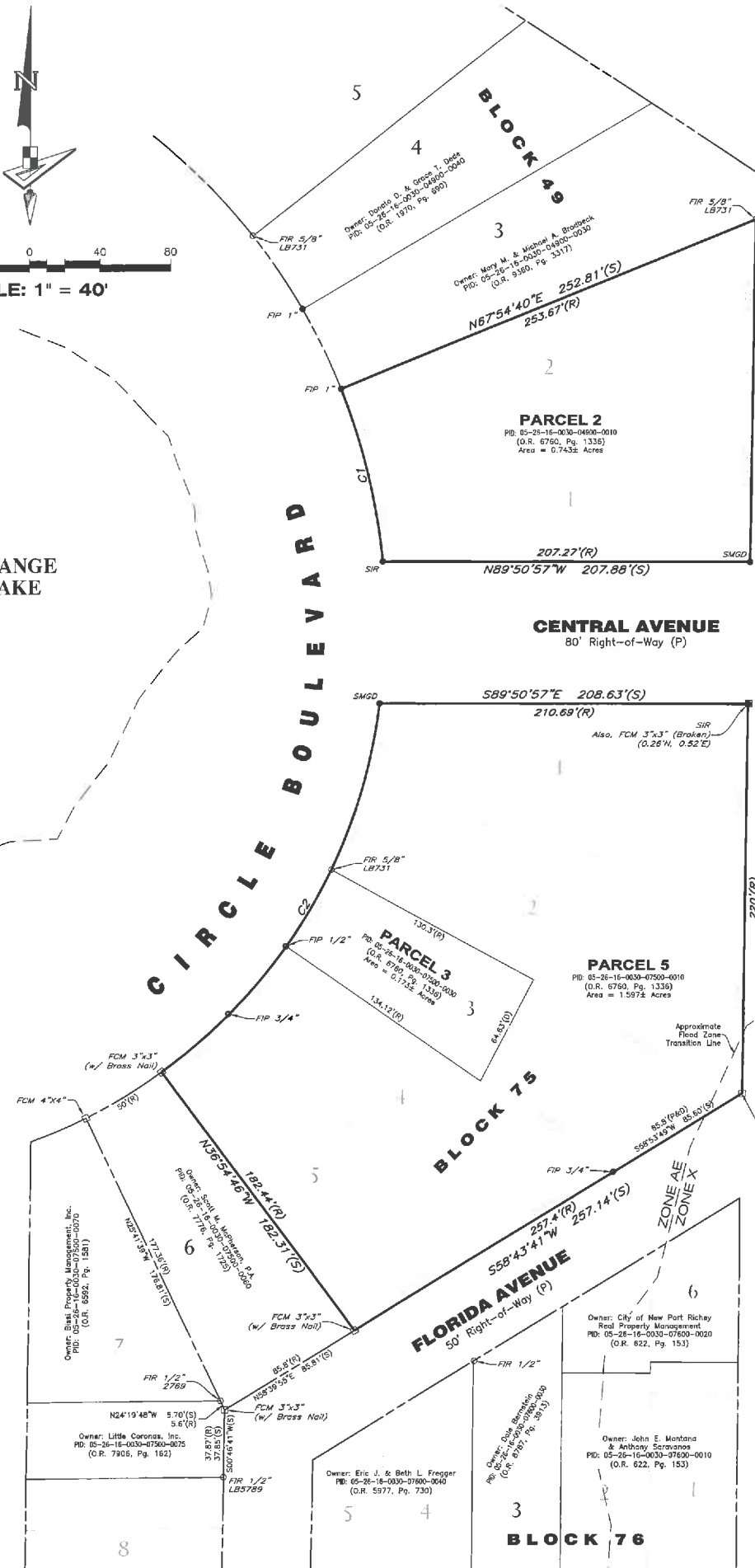
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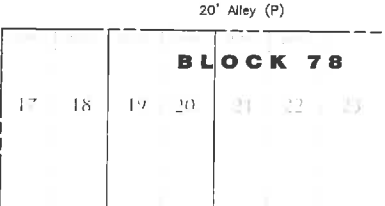
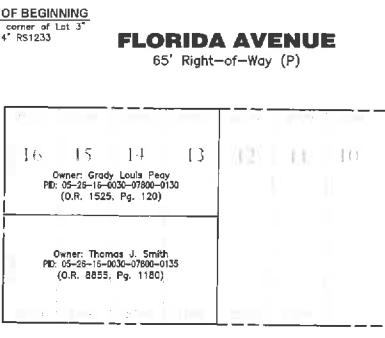
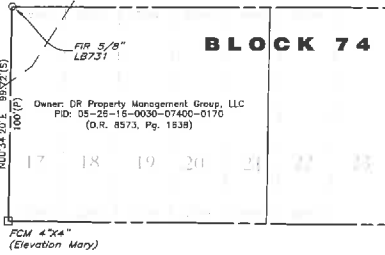
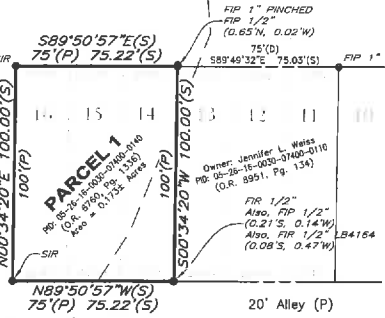
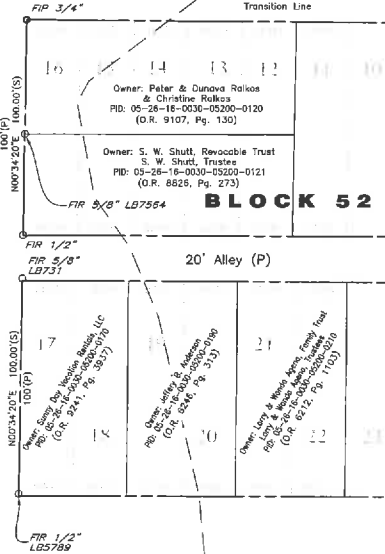


ORANGE  
LAKE

GRAND BOULEVARD  
60' Right-of-Way (P)



PENNSYLVANIA AVENUE



DESCRIPTION:

- PARCEL 1:**  
Lots 14, 15 and 16, Block 74, City of New Port Richey, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida.
- PARCEL 2:**  
Lots 1 and 2, Block 49, City of New Port Richey, Florida, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida.
- PARCEL 3:**  
Lot 3, Block 75, City of New Port Richey, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida, LESS the following described portion thereof.
- Commence at the most Easterly corner of Lot 3 for a Point of Beginning; thence run along the Southeasterly boundary of Lot 3, a distance of 85.8 feet to the most Southerly corner of Lot 3, thence Northwesterly along the line between Lots 3 and 4, a distance of 90.99 feet, thence Northeasterly a distance of 64.63 feet to the boundary between Lots 2 and 3, thence Southeasterly along said boundary between Lot 2 and 3, a distance of 134.80 feet to the Point of Beginning.
- PARCEL 5:**  
Lots 1, 2, 4, and 5, Block 75, and part of Lot 3, Block 75, being further described as follows:
- Commence at the most Easterly corner of said Lot 3 for a Point of Beginning; thence run along the Southeasterly boundary of said Lot 3, 85.8 feet to the most Southerly corner of Lot 3, thence Northwesterly along the line between Lots 3 and 4, 90.99 feet, thence Northeasterly 64.63 feet to the boundary between Lot 2 and 3; thence Southeasterly along said boundary between Lots 2 and 3, 134.80 feet to the Point of Beginning. Plat of City of New Port Richey, Florida, according to the map or plat thereof as recorded in Plat Book 4, Page 49, Public Records of Pasco County, Florida.

SURVEYOR'S NOTES:

- This survey has been prepared without the benefit of a commitment for title insurance and is subject to title review and/or abstract. GeoPoint Surveying, Inc. makes no representations or guarantees pertaining to easements, rights-of-way, set back lines, reservations, agreements, or other similar matters. Any matters that may exist can be found in the public records of Pasco County, Florida.
- This survey is limited to above ground visible improvements along and near the boundary lines, except as shown hereon, and that nothing below the ground was located including, but not limited to foundations (footings), utilities, etc.
- Bearings shown hereon are based on the South boundary of Parcel 2 (also being the North right-of-way line of Central Avenue, having a Grid bearing of N 89°50'57"W. The Grid Bearings as shown hereon refer to the State Plane Coordinate System, North America Horizontal Datum of 1983 (NAD 83-2011 ADJUSTMENT) for the West Zone of Florida.
- Additions or Deletions to survey maps or reports by anyone other than the signing party, or parties, is prohibited without the written consent of the signing party or parties.
- The subject property lies in Flood Zone "AE (EL 10)" and "X", according to Flood Insurance Rate Maps, Map Nos. 12101C0188F & 12101C0189F for Pasco County, Community No. 120230, Pasco County, Florida, dated September 26, 2014 and issued by the Federal Emergency Management Agency. Lines shown have been digitally translated from DFIRM database information supplied by the FEMA Map Service Center <https://msc.fema.gov>.
- Elevations shown hereon are based on the North American Vertical Datum of 1988 (NAVD 88) and are relative to National Geodetic Survey Tidal Benchmark "872 7001 B", having a Published Elevation = 7.02 feet (NAVD 88).
- The record plat dimensions are mostly illegible. Some record dimensions shown hereon were taken from the Pasco County Tax Map records.

FILE COPY

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C1(S)	355.00'	16°14'33"	100.64'	100.30'	N 14°06'41" W
C2(S)	300.00'	47°28'24"	248.57'	241.52'	N 30°34'22" E



Approved by DRC 3.22.17

LEGEND

(S) ----- Survey Dimension	FIP ----- Found Iron Pipe
(D) ----- Dashed Dimension	FIR ----- Found Iron Rod
(P) ----- Plot Dimension	FCM ----- Found Concrete Monument
(R) ----- Record Dimension (per Pasco County Tax Map)	FMG ----- Found Mag Nail
O.R. ----- Official Records Book	FMGD ----- Found Mag Nail & Disk
P.B. ----- Plat Book	LB ----- Licensed Business
Pg(s). ----- Page(s)	RS ----- Registered Surveyor
SIR ----- Set 1/2" Iron Rod LB7768	PID ----- Parcel Identification Number
SMGD ----- Set Mag Nail & Disk LB7768	Elev ----- Elevation

RESIDENCES AT ORANGE LAKE  
BOUNDARY & TOPOGRAPHIC SURVEY

REVISIONS		
No.	Date	Description

Prepared For: CITY OF NEW PORT RICHEY  
Last Date of Field Survey: 08/02/2016

**SURVEYOR'S CERTIFICATE**

This certifies that a survey of the herein described property was made under my supervision and meets the Standards of Practice set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 54-17.050, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

John D. Weigle  
FLORIDA PROFESSIONAL SURVEYOR & MAPPER NO. LS5246

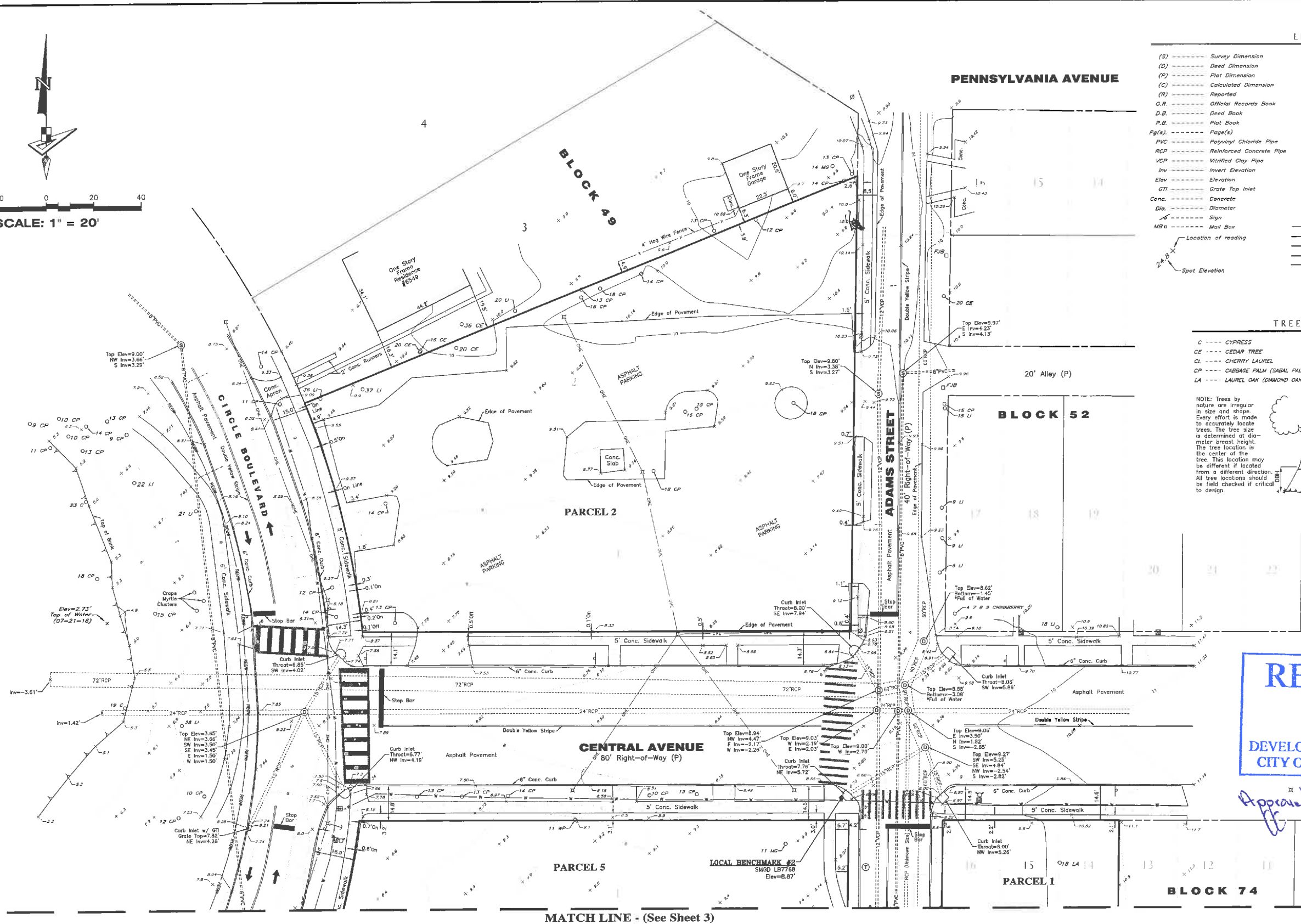
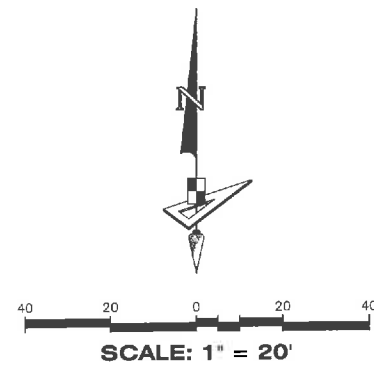


NOTE: See Sheets 2 and 3 for Improvements & Topographic Survey details.

NAVD 88

Sheet No. 1 of 3 Sheets





**LEGEND**

(S) --- Survey Dimension	(S) --- Sanitary Sewer Manhole
(D) --- Deed Dimension	(D) --- Storm Drainage Manhole
(P) --- Plat Dimension	(T) --- Telephone Manhole
(C) --- Calculated Dimension	(L) --- Light Pole
(R) --- Reported	(S) --- Service Power Pole
O.R. --- Official Records Book	(U) --- Utility Pole
D.B. --- Deed Book	(A) --- Guy Anchor
P.B. --- Plat Book	(P) --- Telephone Pedestal
Pg(s) --- Page(s)	(E) --- Electric Box
PVC --- Polyvinyl Chloride Pipe	TFP --- Transformer Pad
RCP --- Reinforced Concrete Pipe	FJB --- Fiber Optic Junction Box
VCP --- Vitrified Clay Pipe	(M) --- Water Meter
Inv --- Invert Elevation	(T) --- Buried Telephone Warning Marker
Elev --- Elevation	(G) --- Buried Gas Warning Marker
G.T.I. --- Grate Top Inlet	(W) --- Water Gate Valve
Conc. --- Concrete	(G) --- Gas Gate Valve
Dia. --- Diameter	(C) --- Sanitary Sewer Clean Out
Sign --- Sign	(F) --- Fire Hydrant
M.B. --- Mail Box	(U) --- Overhead Utility Lines
Location of reading	(E) --- Overhead Electric Lines
Spot Elevation	(T) --- Overhead Telephone Lines
	(W) --- Buried Reclaimed Water Pipe
	(V) --- Buried Water Pipes

**TREE LEGEND**

C --- CYPRESS	LI --- LIVE OAK
CE --- CEDAR TREE	MG --- SOUTHERN MAGNOLIA
CL --- CHERRY LAUREL	SL --- SLASH PINE (YELLOW PINE)
CP --- CABBAGE PALM (SABAL PALM)	WP --- WASHINGTON PALM
LA --- LAUREL OAK (DIAMOND OAK)	

NOTE: Trees by nature are irregular in size and shape. Every effort is made to accurately locate trees. The tree size is determined at diameter breast height. The tree location is the center of the tree. This location may be different if located from a different direction. All tree locations should be field checked if critical to design.

**FILE COPY**

**RECEIVED**  
MAR 22 2017  
DEVELOPMENT DEPARTMENT  
CITY OF NEW PORT RICHEY

Approved by Dec 3.23.17

MATCH LINE - (See Sheet 3)

**RESIDENCES AT ORANGE LAKE BOUNDARY & TOPOGRAPHIC SURVEY**

**REVISIONS**

No.	Date	Description	Drawn

Prepared For: CITY OF NEW PORT RICHEY  
Last Date of Field Survey: 07/22/2016

SEE SHEET 1 FOR SURVEYOR'S CERTIFICATE

**GeoPoint**  
Surveying, Inc.

1403 E. 5th Avenue  
Tampa, Florida 33605  
www.geopointsurveying.com

Phone: (813) 248-8888  
Fax: (813) 248-2266  
Licensed Business Number 107795

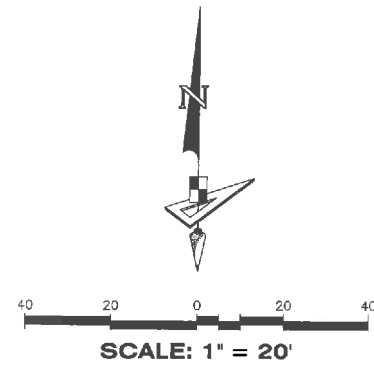
Drawn: TS Date: 06/01/16 Data File: RESIDENCES ORANGE LAKE-CH  
Check: JOW P.C.: CH Field Book: 23-2016/44-48  
Section: 5 Township: 28 S Range: 10 E County: Pasco

NOTE: See Sheet 1 for Boundary Survey Information, Legal Description & Surveyor's Notes.

**NAVD 88**

Sheet No. 2 of 3 Sheets

MATCH LINE - (See Sheet 2)



LOCAL BENCHMARK #1  
SMGD LB7768  
Elev=9.03'

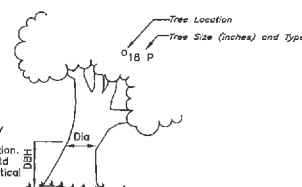
#### LEGEND

(S) --- Survey Dimension	(S) --- Sanitary Sewer Manhole
(D) --- Dead Dimension	(D) --- Storm Drainage Manhole
(P) --- Plot Dimension	(T) --- Telephone Manhole
(C) --- Calculated Dimension	(L) --- Light Pole
(R) --- Reported	(SPP) --- Service Power Pole
O.R. --- Official Records Book	(U) --- Utility Pole
D.B. --- Deed Book	--- Guy Anchor
P.B. --- Plat Book	EB --- Telephone Pedestal
Pg(s) --- Page(s)	EB --- Electric Box
PVC --- Polyvinyl Chloride Pipe	TFP --- Transformer Pad
RCP --- Reinforced Concrete Pipe	FJB --- Fiber Optic Junction Box
VCP --- Vitrified Clay Pipe	W --- Water Meter
Inv --- Invert Elevation	W --- Buried Telephone Warning Marker
Elev --- Elevation	G --- Buried Gas Warning Marker
GTI --- Gage Top Inlet	W --- Water Gate Valve
Conc. --- Concrete	GV --- Gas Gate Valve
Dia. --- Diameter	CS --- Sanitary Sewer Clean Out
Sign --- Sign	FD --- Fire Hydrant
MB --- Mail Box	OU --- Overhead Utility Lines
--- Location of reading	OE --- Overhead Electric Lines
--- Spot Elevation	OT --- Overhead Telephone Lines
	NR --- Buried Reclaimed Water Pipe
	W --- Buried Water Pipes

#### TREE LEGEND

C --- CYPRESS	LI --- LIVE OAK
CE --- CEDAR TREE	MG --- SOUTHERN MAGNOLIA
CL --- CHERRY LAUREL	SL --- SLASH PINE (YELLOW PINE)
CP --- CABBAGE PALM (SABAL PALM)	WP --- WASHINGTON PALM
LA --- LAUREL OAK (DIAMOND OAK)	

NOTE: Trees by nature are irregular in size and shape. Every effort is made to accurately locate trees. The tree size is determined at diameter breast height. The tree location is the center of the tree. This location may be different if located from a different direction. All tree locations should be field checked if critical to design.



NOTE: See Sheet 1 for Boundary Survey Information, Legal Description & Surveyor's Notes.

NAVD 88

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RECEIVED

MAR 22 2017

DEVELOPMENT DEPARTMENT  
CITY OF NEW PORT RICHEY

Approved by DZC 3.23.17

#### RESIDENCES AT ORANGE LAKE BOUNDARY & TOPOGRAPHIC SURVEY

REVISIONS		
No.	Date	Description

Prepared For: CITY OF NEW PORT RICHEY  
Last Date of Field Survey: 07/22/2016

SEE SHEET 1 FOR  
SURVEYOR'S CERTIFICATE

**GeoPoint**  
Surveying, Inc.

1403 E. 5th Avenue  
Tampa, Florida 33605  
www.geopointsurvey.com

Phone: (813) 248-8888  
Fax: (813) 248-2266  
Licensed Business Number 187754

Drawn: TS Date: 08/01/16 Data File: RESIDENCES ORANGE LAKE-CH  
Check: JWW P.C.: CH Field Book: 23-201644-48  
Section: 6 Township: 26 S Range: 16 E County: Pasco





Brown  
Design  
Studio  
architecture & urban design

Type A (1 bed) and Type B (2 Bed)

Orange Lake  
New Port Richey, FL

FILE COPY



02/27/2017  
3/32"=1'-0"

Approved by DRL 3.23.17



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Brown  
Design  
Studio  
architecture & urban design

Type C - 2 Bed  
Orange Lake  
New Port Richey, FL



02/27/2017  
1/8"=1'-0"

Approved by DRC 3.23.17





Brown  
Design  
Studio  
architecture & urban design

Type D- 1 Bed  
Orange Lake  
New Port Richey, FL

FILE COPY



02/27/2017  
1/8"=1'-0"

Approved by DRC 3.23.17



### **Roof**

Timberline HD  
Sunset Brick  
Roofing Shingles



### **Windows and Accents**

Windows, Doors, Balcony, Pickets  
SW7034 Status Bronze



### **Stucco**

Sto Corp  
Smooth Finish  
Sto White



### **Metal Work**

Satin Black



### **Trim / Body**

Siding, Corner Boards, Cornice,  
Porches and Bays  
SW7005 Pure White

\*The gutters color will match the color of the building siding.

**FILE COPY**



*Approved by Drc 3.23.17*

02.23.2017







# NEW PORT RICHEY

5919 MAIN STREET • NEW PORT RICHEY, FL 34652 • (727) 853.1016

## Land Development Review Board (LDRB) - Minutes

**Date:** April 20, 2017  
**Time:** 2:00 pm  
**Location:** City Council Chambers  
First Floor, City Hall, 5919 Main Street, New Port Richey, FL 34652

Any person desiring to appeal any decision made by the LDRB, with respect to any matter considered at any meeting or hearing, will need a record of the proceedings and may need to insure that a verbatim record of the proceedings is made which includes the testimony and evidence upon which the appeal is to be based. The law does not require that the Secretary transcribe verbatim minutes, therefore, the applicant must make the necessary arrangements with a private reporter or private reporting firm and bear the resulting expense (FS 286.0105).

### **I. Roll Call & Pledge of Allegiance:**

#### Members Present:

Dr. Cadle, Jr., Vice Chairperson  
Greg Smith  
Dan Maysilles  
Judy Michel (departed 3:15 p.m.)  
Mary Moran  
Louis Parrillo  
Bob Smallwood, Alternate Member (voting in absence of Mr. Grey)  
Nancy MacDonald, Alternate Member

#### Members Absent:

John Grey, Chairperson

#### Others Present:

Lisa L. Fierce, Development Director  
Chris Mettler, Senior Planner  
Gus Karpas, Senior Planner  
Chris Vincent, Help Desk Technician  
Melanie Tyler, Permit Technician

### **II. Approval of Minutes:**

Dr. Cadle chaired the meeting. Mr. Maysilles made the motion to approve the January 19, 2017 minutes as presented which was seconded by Ms. Moran. The motion carried and the Board approved the minutes (7-0).

### **III. Rezoning Application REZ2017-01 & Preliminary Site Plan Application PSP2017-03**

Case: Rezoning Application REZ2017-01 & Preliminary Site Plan Application PSP2017-03 – 6571 Circle Boulevard – Residences at Orange Lake  
Applicant: City of New Port Richey, Debbie L. Manns, City Manager, 5919 Main Street, New Port Richey, FL 34652  
Request: Rezoning from R-2, Residential District, Downtown District, MF-14, Residential District, and Right-of-Way, to PDD, Planned Development District (RPD, Residential Planned District Subcategory) (Ordinance #2017-2109)

Staff Contact: Chris Mettler, Senior Planner, 727-853-1044, [mettlerc@cityofnewportrichey.org](mailto:mettlerc@cityofnewportrichey.org)

Ms. Fierce discussed the quasi-judicial proceedings including the requirement to announce any ex-parte communication or conflict. Mr. Mettler distributed an email from Mary Brodbeck, 6549 Circle Boulevard, requesting the developer provide a fence adjacent to her neighboring property.

Mr. Mettler provided a power point presentation. He indicated the location of the subject property, said the property is owned by the City, which purchased the land in 2005 and has been marketing it since for redevelopment purposes. He said Frank Starkey of People Places requires the rezoning in order to redevelop the site with a multifamily project. He said the 2.82-acre property is currently designated with the R-2, Downtown and MF-14 zoning districts and the request is for a rezoning to PDD, Planned Development District (RPD, Residential Planned Development District Subcategory). He said the PDD zoning district is alternative method of land development to facilitate and further the goals, objectives and policies of the adopted comprehensive plan, is design-driven with an associated site plan and allows design flexibility. He said the Development Review Committee approved the site plan on March 23<sup>rd</sup>.

Mr. Mettler said the development proposed is an 85-unit multifamily residential development. The units would be rental apartments. The building type proposed is mansion-style; the buildings were designed to look like large houses rather than apartment buildings, in order to blend in with the surrounding development. The developer proposes a mix of one and two bedroom apartments. The buildings were primarily three stories in height, with 55-foot towers at the corners of the intersection of Circle Boulevard and Central Avenue.

He noted that the developer proposes a parking standard of one space per apartment, as he plans to market to Millennials and empty-nesters, who have been shown to own less cars per household and to drive less often. He said the developer proposes to provide 97 spaces on-site and 32 spaces of on-street parking (which would be available to anyone on a first-come, first-serve basis).

Mr. Mettler said the proposed rezoning request met the concurrency requirements and is consistent with the Comprehensive Plan, which encourages using the PDD zoning district in redevelopment efforts, has been amended to increase the density standards of the Downtown and Downtown Core categories, encourages a mix of housing types, encourages traffic calming techniques (such as the landscaped median, narrowing of traffic lanes and provision of on-street parking proposed on Central Avenue) and encourages reduced setbacks Downtown.

Mr. Smallwood asked if designating the property with the Downtown zoning district would suffice. Mr. Mettler said there would be a conflict with the Low Medium Density Residential category. Ms. Fierce noted that the PDD zoning district allowed the City more control with the associated approved site plan and would not provide the density the applicant is seeking.

Mr. Smith expressed concerns about the three-story height of the buildings and the reduced building setbacks. Mr. Mettler noted the stepping down of building height from 55-feet to 35-feet. Ms. Fierce noted the one-story garage on the north side of the north lot provided a buffer as well.

Mr. Maysilles asked if a privacy wall would be provided. Mr. Mettler said no, but five-foot landscaped buffers would be provided on the north lot line of the north parcel adjacent to a single-family house and along the southwest lot line on the southwest parcel adjacent to a single-story building.

Frank Starkey, developer, described his desire to revitalize Downtown and the marketing study that identified the demand for residential rental apartments. He noted that the additional residents would support Downtown businesses. He described the economic and financial issues with developing owner-occupied condominium multifamily residential projects at this time. He described the lack of interest in the City's marketing of the property for redevelopment. He addressed the concern about the provision of parking at a reduced rate, saying that studies indicate that the market he is targeting has a car ownership rate that is declining.

Mr. Smallwood asked why he switched from a Mediterranean style to the mansion style. Mr. Starkey discussed the cost factors that led him to this change in his design concept.

Mr. Starkey addressed the concerns about the building height, saying that two-story buildings were not economically viable and noted he proposed massing the buildings in a manner in keeping with the style of the neighborhood. He also noted the comparative height of the church that previously existed on the property. He noted that the buildings were not as long as the buildings on the Main Street Landing site. He noted it is a step up in intensity but that cities grow in place.

Mr. Smallwood asked why the buildings were proposed to be white. Mr. Starkey said the color and massing were intended to look traditional.

Mr. Smith asked about the number of residents. Mr. Starkey said based on the proposed 85 apartments, he would estimate 135 residents. Mr. Starkey noted that he proposed developing a smaller site in the first phase, to gauge market feedback.

Rod Wortham, 6345 Grand Boulevard, a Downtown business, said this was the kind of project Millennials would be interested in and in his observation, they do drive less.

Jeff Wright, owner of Wright's Natural Market in the City, said he wanted to see this project and Main Street Landing go forward, and he would like to see the increase in density proposed.

Linda Blake, 5743 Illinois Avenue, said she had lived in the City for 34 years and was concerned about the mistakes the City makes, about rentals, low-income families, declining schools, and poverty in general. She said she wanted a guarantee the rentals would not become low-income, crime-infested development. Ms. Fierce said the City is concerned about maintenance of the project and was addressing that in a development agreement with the applicant.

John Kane, 6041 Florida Avenue, said he was not opposed to the project and it seemed like a good opportunity. He thinks three-story buildings is imposing at this location, but he is not against the project.

Rich Melton, 5848 Central Avenue, said he thought the reduced parking rate is inadequate and he does not want a landscaped median to block his view of the fountain in Orange Lake. He asked if the Fire Department could accommodate the three-story buildings. Ms. Fierce said the Fire Chief had reviewed the site plan and he had no issues with this proposal or Main Street Landing.

Lori Woortman, 5828 Delaware Avenue, said she moved to Winter Park in 1960 and was concerned to see how that area had declined, as big apartment buildings and big parking garages were developed near Lake Baldwin.

Rex Phelps, 5914 Central Avenue, said he thought the project is not bad but the parking issue had not been thought through. He is concerned about the proposed median, adequate parking for events and speeding cars on Central Avenue.

Kacey Atkinson, 5912 Illinois Avenue, and Lia Gallegos, 6030 Tennessee Avenue, said that they owned homes in the City but were previously renters. They noted that Millennials want to rent, the residents would not be low-income and would make the City more vibrant. They said the proposal would slow traffic in Central Avenue.

Sue Grassin, 7108 Grand Boulevard, said the proposal is a beautiful concept but is concerned about rentals. She is concerned about people moving from Tampa and commuting to their Tampa jobs. She is concerned about event parking, parking on Central Avenue, Section 8 housing, the crime rate prostitution and drug use.

Kevin Brennan, 6126 Central Avenue, was confused about how Main Street Landing effects the proposed project's market demand. He said he was neither opposed nor in support of the proposal.



Ruth Ferguson, 5941 Rio Drive, was concerned about ingress and egress into the project and impacts on Adams Street. Ms. Fierce said access to Phase 1 would be from Adams Street, Phase 2 from Adams Street and Florida Avenue, and Phase 3 from the alley.

Joe Delguidice, 5524 Indiana Avenue, expressed concern that within ten years the site will be blighted, the project will go bankrupt there would be no maintenance and there would be traffic impacts. He is concerned about provision of event parking. Dr. Cadle said the City is studying the parking issue.

Ms. Fierce said the City never intended for the property to be used for long-term event parking. The City is planning to develop a Downtown parking garage to address this issue in the future. She noted that the developer is anticipating that residents will relocate from Tampa and not commute to Tampa. She reiterated the 2015 market study's finding that the City's Downtown could support 500 residential units, 315 of which would be rentals.

Mr. Starkey said he was not proposing affordable, low-income housing. He said the reduced parking phenomenon is a national issue. As for event parking, he said Downtown is not intended to be a fairground.

Ms. Moran said she is concerned about impacts to the small-town atmosphere of the City. Mr. Starkey said the City cannot stay a small town forever and it is a challenge for the City to grow appropriately. He said his proposal would improve the character of the streets and the building heights would not provide a canyon effect.

Mr. Maysilles said he applauds these kinds of plans and we cannot have small town projects and move forward. He said he is also concerned about the parking issues and he is not sure how to address them, except maybe a parking garage in Phase 1.

Dr. Cadle said this is the kind of development we need. He noted the commercial vacancies Downtown and noted the Millennials home ownership patterns were different. He thinks this project will improve the character of the town.

Mr. Smallwood remembered the impact the recession had on Downtown and there were not enough residents to support Downtown businesses. He said he liked New Urbanist ideas and the development in Baldwin Park. He noted that parking and traffic are challenges for the City.

Ms. Fierce noted that the first City Council hearing was scheduled for May 2, 2017.

Mr. Maysilles made the motion to recommend approval of the rezoning request with the condition that the unity of title application is completed, which was seconded by Mr. Parrillo. Roll call vote: Dr. Cadle, yes; Ms. Moran, yes; Mr. Parrillo, yes; Mr. Smith, no; Ms. Michel, no; Mr. Smallwood, yes; and Mr. Maysilles, yes. The motion carried (5-2).

#### **IV. Variance Application VAR2017-1560**

Case: Variance Application VAR2017-1560 - 5323 Main Street  
Applicant: Vivian Robinson, 5323 Main Street, New Port Richey, FL 34652  
Request: 1) A two-foot variance to increase the height of fencing in the Downtown District from four feet to six feet; and  
2) A variance to increase the opacity of a fence in the downtown from 50% to 100%  
Staff Contact: Gus Karpas, Senior Planner, 727-853-1042, karpasg@cityofnewportriches.org

Mr. Karpas presented a powerpoint in which he identified the subject property, showed the photos of the activity on the neighboring property that spills over to the subject property and showed the location of the proposed fence. He explained that the Downtown fence regulations allow a maximum four-foot fence of maximum 50 percent opacity. He said the applicant is seeking a variance to allow her a six-foot opaque fence to shield her property and her clients from the activity on the neighboring property.



# NEW PORT RICHEY

5919 MAIN STREET • NEW PORT RICHEY, FL 34652 • 727.853.1016

**TO:** City of New Port Richey City Council  
**FROM:** Debbie L. Manns, City Manager  
**DATE:** 5/2/2017  
**RE:** Second Reading, Ordinance No. 2017-2111: Refuse Collection Services

**REQUEST:**

The request is for City Council conduct a second and final reading of Ordinance No. 2017-2111 in respect to collection hours and additionally providing for the required collection of refuse for property owners within the city.

**DISCUSSION:**

The purpose of this agenda item is twofold. First to amend the collection hours portion of Section 10-25 of the City's Code of Ordinances to include a new start time for commercial pick-ups.

The second change is in response to the fact that there are a significant number of properties located within the city that do not subscribe to the services of a refuse collection agency. In as much that uncollected refuse is a detriment to public health, staff believes it is necessary to require property owners and/or occupants to enter into an agreement for the disposal of waste from their property with a refuse collection agency. Therefore, the attached ordinance is being recommended for your consideration.

**RECOMMENDATION:**

The recommendation is for the City Council to conduct the second and final reading of Ordinance No. 2017-2111 as presented.

**BUDGET/FISCAL IMPACT:**

No funding is required for this item at this time.

**ATTACHMENTS:**

Description	Type
☐ Ordinance No. 2017-2111: Refuse Collection Services	Ordinance

**ORDINANCE NO. 2017-2111**

**AN ORDINANCE OF THE CITY OF NEW PORT RICHEY, FLORIDA, PROVIDING FOR THE AMENDMENT OF SECTIONS 10-24 AND 10-25 OF THE NEW PORT RICHEY CODE OF ORDINANCES; PERTAINING TO DUTIES OF GARBAGE COLLECTORS AND CUSTOMERS, AND THE HOURS AND DAYS OF GARBAGE COLLECTION IN THE CITY; PROVIDING FOR REQUIRED GARBAGE COLLECTION AGREEMENTS AND REPORTING THEREOF; PROVIDING FOR CONFLICTS, SEVERABILITY, AND AN EFFECTIVE DATE.**

WHEREAS, within the City limits of the City of New Port Richey, Florida is a recurring condition which has resulted in uncollected garbage;

WHEREAS, uncollected garbage is a detriment to the public health, safety, welfare and quality of life of the residents of the City;

WHEREAS, it is necessary to ensure that each property owner has entered into an agreement for the disposal of the garbage from said property; and

WHEREAS, it is declared as a matter of legislative determination and public policy that the provisions and prohibitions herein are necessary in the public interest; and it is further declared that the provisions and prohibitions herein are in pursuance of and for the purpose of securing and promoting the public health, safety, welfare and quality of life in the City.

**NOW, THEREFORE, THE CITY OF NEW PORT RICHEY, FLORIDA HEREBY ORDAINS:**

**Section 1. Section 10-24 of the Code of Ordinances, pertaining to duties of trash collectors and customers, is hereby amended as follows** (strikeout text shows deleted matters, new matters are underlined):

Sec. 10-24. - Duties of collector, customer.

(a) The holder of any special permit as required in section 10-41 shall clean, sweep, collect and remove any garbage, trash, refuse or residue which may be spilled or is scattered, loose or otherwise uncovered at or within the immediate proximity of the garbage cans, trash cans or other containers or packages of garbage, trash or refuse so that upon such collection there shall be no scattered, loose or otherwise uncovered residue of any garbage, trash or refuse at the collection site; provided, that all garbage is enclosed, by the customer, in a garbage can, receptacle, or other waterproof container, and that all trash is properly packaged by the customer.

(b) Each property owner or occupant within the City shall enter into and maintain at all times an agreement with a holder of a special permit as required in section 10-41, providing for the removal and collection of all garbage, trash or refuse from said property in accordance with this chapter. Each holder of a permit required in section 10-41 shall provide a list of all customers serviced by said permit holder pursuant to this chapter to the City's public works department, which shall include the name of each property owner or occupant, the current address thereof and the address of each property serviced by said permit holder. The aforesaid list shall be updated, periodically and no less frequently than once every ninety (90) days.

**Section 2. Section 10-25 of the Code of Ordinances, pertaining to collection hours and days for garbage collection, is hereby amended as follows** (strikeout text shows deleted matters, new matters are underlined):

Sec. 10-25. - Collection hours, days.

Those persons or entities holding a special permit referred to in section 10-41 herein shall only be permitted to collect garbage, trash, refuse and recyclable materials between the hours of 6:00 a.m. and 7:00 p.m. on Mondays and Thursdays within those residential areas of the city where single or multiple family structures exist, and garbage cans for garbage, trash or refuse, or blue bags for recyclable materials, are used. No collection of garbage, trash, refuse or recyclable materials within said residential areas of the city shall be permitted on any other day of the week, except in the event the following holidays fall on a Monday or Thursday:

- (1) New Year's Day,
- (2) Dr. Martin Luther King, Jr. Birthday
- (3) Memorial Day,
- (4) Independence Day,
- (5) Labor Day,
- (6) Veterans' Day,
- (7) Thanksgiving Day,
- (8) Day after Thanksgiving, or
- (9) Christmas Day.

In the event any of the above listed holidays fall on a Monday or Thursday, the holders of the aforesaid special permit referred to in section 10-41 herein shall collect such garbage, trash, refuse or recyclable materials on the holiday or on the day immediately following the holiday.

In those areas where industrial or commercial structures exist, as well as in those residential areas where multiple family structures with proper access to dumpsters exist, the collection of garbage, trash, refuse or recyclable materials may be collected by the holders of the special permit referred to in section 10-41 herein between the hours of 6:00 a.m. and 7:00 p.m. on any day of the week, except Sundays.

**Section 3. Conflict with Other Ordinances and Codes.** All ordinances or parts of ordinances of the City of New Port Richey, Florida, in conflict with the provisions of this ordinance, are hereby repealed to the extent of such conflict.



**Section 4. Severability.** If any provision or portion of this ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this ordinance shall remain in full force and effect.

**Section 5. Effective Date.** This ordinance shall take effect immediately upon its adoption as provided by law.

The foregoing Ordinance was duly read and approved on first reading at a duly convened meeting of the City Council of the City of New Port Richey, Florida this 4<sup>th</sup> day of April, 2017, and read and adopted on second reading at a duly convened meeting of the City Council of the City of New Port Richey, Florida this 2<sup>nd</sup> day of May, 2017.

ATTEST:

By: \_\_\_\_\_  
Judy Meyers, City Clerk

By: \_\_\_\_\_  
Rob Marlowe, Mayor-Council Member

(Seal)

APPROVED AS TO FORM AND LEGALITY FOR THE  
SOLE USE AND RELIANCE OF THE CITY OF NEW  
PORT RICHEY, FLORIDA:

\_\_\_\_\_  
Timothy P. Driscoll, City Attorney



# NEW PORT RICHEY

5919 MAIN STREET . NEW PORT RICHEY, FL 34652 . 727.853.1016

**TO:** City of New Port Richey City Council  
**FROM:** Debbie L. Manns, City Manager  
**DATE:** 5/2/2017  
**RE:** Recommendation of Firm for Annexation and Feasibility Strategy Study RFQ 17-003

**REQUEST:**

The request is for City Council to authorize the City Manager to enter into a Professional Services Agreement with PMG Associates, Inc. in an amount not to exceed \$54,650 for professional planning services in relationship to the Annexation Feasibility and Strategy Study (RFQ17-003).

**DISCUSSION:**

On December 9, 2016 a Request for Qualifications was let for the proposed Annexation Feasibility and Strategy Study. Two firms, PMG Associates, Inc. and TichlerBise, were chosen from the submissions received for interviews. After the interviews were complete it was evident that PMG Associates, Inc. was the firm that best fit the needs of the City for this project.

The proposed Annexation Feasibility and Strategy Study is intended to provide information regarding the impacts on revenues and expenditures from the provision of municipal services to the study areas. The report will identify the impacts to the residents of the study area. The study area is limited to the utility service area of the city.

**RECOMMENDATION:**

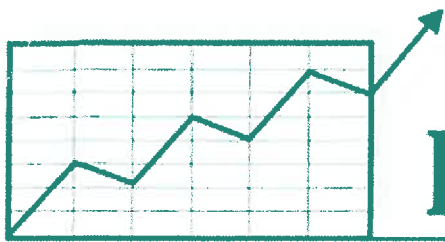
Staff recommends that City Council authorize the City Manager to enter into a Professional Services Agreement with PMG Associates, Inc. in an amount not to exceed \$54,650 for professional planning services in relationship to the Annexation Feasibility and Strategy Study (RFQ17-003).

**BUDGET/FISCAL IMPACT:**

Funding for this agenda item is available in the Professional Services line-item account numbers as follows: \$40,988 in account number 001-0025-512-33-99 (Administrative Services) and \$13,662 in account number 401-0108-536-31-99 (Water & Sewer Revenue Fund - Non-Classified).

**ATTACHMENTS:**

Description	Type
☐ Scope of Services - PMG Associates, Inc.	Backup Material



# PMG Associates, Inc.

Economic, Marketing and Management Consultants

Deerfield Beach, FL

Miami, FL

Hendersonville, NC

March 27, 2017

Mr. Martin Murphy, Assistant to the City Manager  
City of New Port Richey  
5919 Main Street  
New Port Richey, Florida 34652

Re: New Port Richey Annexation Feasibility & Strategy Study

PMG Associates, Inc. (PMGA) is pleased to submit this proposal to complete the New Port Richey Annexation Feasibility & Strategy Study. We have prepared a Scope of Services, Price Proposal and Timeline for the completion of the project.

For the Timeline, we estimated a start date of April 17 and we estimate a total schedule of four months. This schedule is based on timely assistance from the City and County Departments. We also need a map of the Utility Service Area, preferably in GIS.

The detailed information is included in the following attachments

Very truly yours,  
PMG Associates, Inc.

**Kathleen R. Gonot**  
Kathleen R. Gonot  
President

- Total population
- Population by age
- Housing (number and type)
- Owner-occupied vs. Renter-occupied
- Other as required

### **TASK 3. FISCAL IMPACTS**

Identify and analyze the factors that impact the City and the potential residents financially.

- Tax and fee analysis will be conducted by identifying all of the taxes and fees that are paid by residents and property owners in the study area. Factors include: Ad Valorem Taxes, Assessments, Utility Taxes, Franchise Fees, Fire/EMS Fees, Utility Charges and garbage rates. A comparison between the rates charged in New Port Richey and those imposed in Pasco County will be made.
- Revenues distributed to the City based on State law including State Shared Revenue, ½ Sales Tax and Communications Service Tax
- A total cost to the homeowner and property owner will be presented which is an accumulation of all the taxes and fees. A comparison between unincorporated Pasco County and New Port Richey will be included.
- Taxable values for the study area will be obtained from the Pasco County Property Appraiser through New Port Richey. Other data such as property use and exemptions will also be collected.
- Revenues collected by New Port Richey will be identified which will include all of the taxes and fees collected by the study area.
- Revenues by each sub-area will also be presented.
- Revenues by fund type will be projected to distinguish between General Fund and Enterprise Funds.

### **TASK 4. LEVEL OF SERVICE ANALYSIS**

Data from Pasco County will form a portion of the basis for the evaluation of the unincorporated areas. New Port Richey will be requested to assist in obtaining this data. The data required includes:

- Call data for Sheriff's Department
- Call data from the County Fire/Rescue
- Code Enforcement records
- Drainage information
- Infrastructure identification

The impacts on the level of service for the study area will also be identified. Service items will be clearly identified and analyzed for all appropriate departments including:

- Police
- Fire



## **TASK 6. MEET WITH PASCO COUNTY**

Attend a meeting between New Port Richey and Pasco County to discuss the potential interlocal agreements possible for the annexation of properties into the City of New Port Richey. The discussion would include specific reference to enclaves as well as the County's overall approach to the question of annexation.

## **TASK 7. SUMMARY OF FISCAL IMPACTS**

A summary of the total revenues generated as well as the total expenditures required to service the potential annexation area will be developed. This summary will list the revenue and expenditure items by budgetary designations of line item and department. The expenditures will include an estimate of the additional staff and capital items required. Staff will be listed by job classification.

The fiscal summary will be produced for each sub-area, for combinations of sub-areas and for the entire Study Area.

## **TASK 8. LAND USE REGULATIONS**

Identify zoning and land use regulations that exist in Pasco County and New Port Richey. Determine if any significant differences occur including permitted uses and other factors that affect lifestyles. This analysis will examine items such as setbacks, parking of large vehicles, allowance of animals and other factors. The final comparison will include a matrix identifying the issues and the regulations in each governmental entity.

This segment will also consider the impact of annexation on the Level of Service standards in the Comprehensive Plan, particularly addressing park lands.

## **TASK 9. STRATEGY RECOMMENDATIONS**

Provide a recommendation of the steps to be undertaken by New Port Richey to implement the annexation. The overall strategy will list a plan of action and time frames for the activities.

## **TASK 10. REPORT AND MEETINGS**

A draft report will be completed which contains all of the assumptions, analysis, findings and data for this study. The report will also include an Executive Summary which will enumerate all of the key factors of the study. After review by the staff of New Port Richey, a final report will be presented that includes any clarifications or modifications requested by the City. Mapping will be provided which illustrates the analysis and findings. The maps will be provided in 8 1/2 by 11 inches as well as 24 x 36 inches.

Progress meetings between the Consultant and staff will be held periodically throughout the contract these meetings can be accomplished by telephone. A presentation of the report will be made at the draft level to staff and to the Council after completion of the final report.

**ATTACHMENT “C”  
CITY OF NEW PORT RICHEY  
ANNEXATION FEASIBILITY AND STRATEGY STUDY**

**PROPOSED TIMELINE**

PMG Associates, Inc. proposes to complete the analysis of annexation feasibility within four months from Receipt of a Notice To Proceed. The estimate of the time frames depends on receipt of data and the conclusion of meetings. The outline of the Timeline follows the Task numbers found in Attachment A and are as follows:

Task	Description	Estimated Time Frame
1	Kick-off Meeting	4/17 – 4/21
2	Area Analysis	4/17 – 5/15
3	Fiscal Impacts	5/1 – 5/22
4	Level of Service	4/17 – 5/29
5	Infrastructure/Mapping	4/17 – 5/15
6	Summary of Fiscal Impacts	5/15 – 5/22
7	Meeting with Pasco County	6/5 – 6/9
8	Land Use Regulations	4/17 – 5/8
9	Strategy Recommendations	6/12 – 6/26
10	Report/Meetings/Presentation	As scheduled

**Milestones:**

- Draft Report – 7/10
- Final Report – 7/24
- Presentation – As scheduled



# NEW PORT RICHEY

5919 MAIN STREET . NEW PORT RICHEY, FL 34652 . 727.853.1016

**TO:** City of New Port Richey City Council  
**FROM:** Debbie L. Manns, City Manager  
**DATE:** 5/2/2017  
**RE:** First Amendment to the Lease with West Pasco Chamber of Commerce

## REQUEST:

The request is for City Council to approve the First Amendment to the Lease with West Pasco Chamber of Commerce.

## DISCUSSION:

The City of New Port Richey has leased space to the West Pasco Chamber of Commerce since 1971. On March 18, 2014, the City and the Chamber entered into a new Lease Agreement which terminated and replaced any and all prior lease agreements. The new Lease Agreement was for a term of three years with an expiration date of June 30, 2017. Pursuant to the provisions set forth in Section 3 of the Lease Agreement, the term may be renewed for one year periods upon written agreement by the mutual parties. The City and the Chamber wish to amend the Lease Agreement in order to extend the term of the lease and to provide for the increase in the rent payment amount due each month from the Chamber.

The First Amendment presented to you for your consideration provides for a one year renewal and reflects the increase in the amount of rent from \$250 a month to \$400 a month. The First Amendment also incorporates the changes to Chapter 119, Florida Statutes, regarding public records so that the City is in compliance with State law. All other provisions set forth in the Lease Agreement remain unchanged and are in full force and effect.

## RECOMMENDATION:

Staff recommends that City Council approve the First Amendment to the Lease with West Pasco Chamber of Commerce as submitted.

## BUDGET/FISCAL IMPACT:

No funding is required for this item.

## ATTACHMENTS:

Description	Type
First Amendment to the Lease with West Pasco Chamber of Commerce	Backup Material

**FIRST AMENDMENT TO THE LEASE AGREEMENT BETWEEN  
THE CITY OF NEW PORT RICHEY, FLORIDA AND  
THE WEST PASCO CHAMBER OF COMMERCE, INC.**

THIS FIRST AMENDMENT is made this May 2, 2017 ("Effective Date") by and between the CITY OF NEW PORT RICHEY, FLORIDA, a Municipal Corporation, hereinafter referred as to "CITY" and THE WEST PASCO CHAMBER OF COMMERCE, INC., a Florida non-profit corporation, hereinafter referred to as "CHAMBER."

WHEREAS, CHAMBER is the current lessee of certain premises located at 5443 Main Street, New Port Richey, Florida by virtue of certain amendments and assignments of lease agreements by and between the CITY and CHAMBER, dating back to December 8, 1971 and amended as needed over the years;

WHEREAS, on March 18, 2014, the CITY and CHAMBER entered into a new Lease Agreement which terminated and replaced any and all prior lease agreements (hereinafter "Lease Agreement"); and

WHEREAS, it is the desire of the CITY and CHAMBER to amend the Lease Agreement in order to extend the term of the lease and to provide for the increase in the rent payment amount due each month from the CHAMBER.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereby agree as follows:

**I. RECITALS**

The parties acknowledge that the above recitals are true and correct and incorporated herein by reference.

**II. TERM**

Section 3 of the Lease Agreement is hereby amended to read as follows:



3. The term of this Lease shall be from the Effective Date until midnight on June 30, 2018, and may be renewed for one (1) year periods thereafter upon written mutual agreement of the parties.

### III. CONSIDERATION

Section 4, Subsection (a) of the Lease Agreement is hereby amended to read as follows:

(a) CHAMBER shall pay to CITY an annual lease rental fee of four thousand eight hundred dollars, payable in equal monthly installments of four hundred dollars (\$400) due on the first day of each month. Payments shall be made to CITY at the Finance Department, 5919 Main Street, New Port Richey, Florida, 34652. CITY, at its discretion, reserves the right to adjust the annual lease rental fee amount without formally amending this lease agreement upon sixty (60) days written notice.

### IV. PUBLIC RECORDS

Section 4, Subsection (b), Paragraph (6) of the Lease Agreement is hereby amended to read as follows:

(6) Upon request from CITY's custodian of public records, CHAMBER shall provide CITY a copy of any requested public records or allow the records to be inspected or copied within a reasonable time at a cost that does not exceed the cost provided in the Florida Public Records Act or as otherwise provided by law. CHAMBER shall ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law for the duration of this Agreement and following completion of this Agreement if CHAMBER does not transfer the records to CITY. Upon completion of this Agreement, CHAMBER shall transfer, at no cost to CITY, all public records in possession of CHAMBER or keep and maintain public records required by CITY to perform the services provided in this Agreement. If CHAMBER transfers all public records to CITY upon completion of this Agreement,

CHAMBER shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. If CHAMBER keeps and maintains public records upon completion of this Agreement, CHAMBER shall meet all applicable requirements for retaining public records. All records stored electronically must be provided to CITY, upon request from CITY's custodian of public records, in a format that is compatible with the information technology systems of CITY.

IF THE CONTRACTOR HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE CONTRACTOR'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS CONTRACT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT (727) 853-1024, [MANNSD@CITYOFNEWPORTRICHEY.ORG](mailto:MANNSD@CITYOFNEWPORTRICHEY.ORG), AND 5919 MAIN STREET, NEW PORT RICHEY, FLORIDA 34652.

V. All other provisions of the Lease Agreement not modified hereby shall remain in full force and effect.

IN WITNESS WHEREOF, the parties have set their hands and seals on the date first above written.

SIGNATURES APPEAR ON THE FOLLOWING PAGE

ATTEST:

FOR THE CITY OF NEW PORT RICHEY:

\_\_\_\_\_  
Judy Meyers, City Clerk

\_\_\_\_\_  
Rob Marlowe, Mayor-Council Member

THE WEST PASCO CHAMBER OF COMMERCE:

By: \_\_\_\_\_

\_\_\_\_\_,as President  
Name, Typed or Printed

APPROVED AS TO FORM AND LEGALITY FOR THE SOLE USE AND RELIANCE OF  
THE CITY OF NEW PORT RICHEY, FLORIDA:

\_\_\_\_\_  
Timothy P. Driscoll, City Attorney



# NEW PORT RICHEY

5919 MAIN STREET . NEW PORT RICHEY, FL 34652 . 727.853.1016

**TO:** City of New Port Richey City Council  
**FROM:** Robert M Rivera, Public Works Director  
**DATE:** 5/2/2017  
**RE:** 2016/2017 Roadway Striping Project Close Out

## REQUEST:

The request of staff for City Council is to review and consider for approval the Final Deductive Change Order in the amount of four thousand seven hundred thirty-five dollars and sixty-two cents (**\$4,735.62**) and the Final Pay Request in the amount of fifty-five thousand two hundred sixty-four dollars and thirty-eight cents **\$55,264.38** from Whiteleaf, LLC dba Traffic Solutions for the completion of the 2016/2017 Roadway Striping Project.

## DISCUSSION:

As Council is aware, the City's Public Works Department is responsible for the maintenance and repair of roadways owned by the City of New Port Richey. The application of roadway markings or striping is a part of the maintenance activities. This project included the removal, the replacement, and upgrades to current FDOT standards where applicable of the existing roadway markings and raised pavement reflectors on Main St. from Congress St. west to US Hwy 19.

The deductive change order was the result of lower material quantities used than estimated schedule of values contained in the project bid.

## RECOMMENDATION:

Approval of the final deductive change order and final pay request are recommended.

## BUDGET/FISCAL IMPACT:

Funding for the project is allocated in the Street Improvement Fund Account No. 701-0701-541-63-46.

## ATTACHMENTS:

Description	Type
☐ Invoice - FDCO - FPR	Backup Material



Whiteleaf, LLC dba Traffic Solutions

Fax (772) 429-3458  
3001 Industrial Avenue Three  
Fort Pierce, FL 34946

# Invoice

DATE	INVOICE #
3/15/2017	11731

BILL TO
CITY OF NEW PORT RICHEY Scott Fish 6132 Pine Hill Rd. Port Richey, FL 34668

P.O. NO.

TERMS

ITEM	QTY	DESCRIPTION	RATE	AMOUNT
		2016-2017 Road Striping Project Main Street		
0711 17	17,554	SF - THERMOPLASTIC, REMOVE	1.00	17,554.00
0711 11121	14,766	LF - THERMOPLASTIC, STANDARD, WHITE, SOLID, 6"	0.48	7,087.68
0711 11221	12,540	LF - THERMOPLASTIC, STANDARD, YELLOW, SOLID, 6"	0.48	6,019.20
0711 12122	102	LF - THERMOPLASTIC, REFURBISHMENT, WHITE, SOLID 8"	0.60	61.20
0711 12124	845	LF - THERMOPLASTIC, REFURBISHMENT, WHITE, SOLID 18"	2.20	1,859.00
0711 11141	24	LF - THERMOPLASTIC, STANDARD, WHITE, SKIP, 6" 6/10	0.60	14.40
0711 12125	2,634	LF - THERMOPLASTIC, REFURBISHMENT, WHITE SOLID 24"	3.10	8,165.40
0711 12170	59	EA - THERMOPLASTIC, REFURBISH, WHITE, ARROWS	42.00	2,478.00
0711 12160	5	EA - THERMOPLASTIC, REFURBISH, WHITE, MESSAGE	70.00	350.00
0711 12123	2,730	LF - THERMOPLASTIC, REFURBISHMENT, WHITE, SOLID 12"	3.00	8,190.00
0711 12224	706	LF - THERMOPLASTIC, REFURBISHMENT, YELLOW, SOLID, 18"	2.00	1,412.00
0706 1 42	715	EA - REFLECTIVE PAVEMENT MARKERS (REM & REPL) (CLASS B)	2.90	2,073.50

**Total** \$55,264.38

**CONTRACT MODIFICATION**  
**(FINAL CHANGE ORDER-DEDUCTIVE)**

**Contract Modification No.: 1**

**Date: 3/21/2017**

**Project Name: 2016-2017 Road Striping Project**

**Project No:**

**Owner: City of New Port Richey, City Council**

**Contractor: Whiteleaf, LLC dba Traffic Solutions**

**Engineer: N/A**

**This is a final Deductive Change Order to the Contract Amount and the Following Modifications to the Contract are hereby ordered:**

<b>Contract Amount</b>		<b>Contract Time (Cal. Days)</b>	
Original Contract Amount	\$ <u>60,000.00</u>	Original Duration	<u>60</u> Days
Previous Change Orders (Add/Deduct)	\$ <u>0.00</u>	Previous Change Orders (Add)	<u>0</u> Days
This Change Order (Deduct)	\$ <u>(4,735.62)</u>	This Change Orders (Add)	<u>0</u> Days
Revised Contract Amount	\$ <u>55,264.38</u>	Revised Contract Time	<u>0</u> Days

The Final Contract Completion Date is:

March 15, 2017

**Contractor's Certification**

By executing this Change Order, the contractor acknowledges and agrees that the stipulated price and/or time adjustment includes the costs and delays for all work contained in the Change order, including costs and delays associated with the interruption of schedules, extended overheads, delay, and cumulative impacts or ripple effect on all other non-effected work under this contract. Signing of the Change order constitutes full changes and constitutes full and mutual accord and satisfaction for the adjustment in contract price or time as a result of increases or decreases in costs and time or performance caused directly and indirectly from the change, subject to the current scope of the entire work as set forth in the contract documents.

**Recommended By:**

**Engineer** N/A

**Contractor** Whiteleaf DBA Traffic Solutions

**By:** N/A

**By:** [Signature]

**Title** N/A

**Title** President

**Date** N/A

**Date:** 3.23.2017

**Public Works Director**

**Project Manager/Inspector**

**By:** [Signature]

**By:** Scott C. Fish

**Date:** 3/27/2017

**Date:** 3/21/17

Public Works Department  
Construction Management

## CERTIFICATE OF SUBSTANTIAL COMPLETION

---

PROJECT: 2016-2017 Road Striping Project

DATE OF ISSUANCE: 3/15/17

---

OWNER: City of New Port Richey, Department of Public Works

OWNER's Contract number:

CONTRACTOR: Whiteleaf LLC dba      ENGINEER: N/A  
Traffic Solution

---

This Certificate of Substantial Completion applies to all Work under the Contract Documents or to the following specified parts thereof:

- 1). Remove RPMs and Place new RPMs
- 2). Grid lines as needed.
- 3). Thermoplastic roads lines, arrows and crosswalks from US 19 to Congress
- 4). Thermoplastic parking spots along Main St.

TO: City of New Port Richey, Public Works  
(OWNER)

And To: Whiteleaf LLC dba Traffic Solution  
(CONTRACTOR)

The Work to which this Certificate applies has been inspected by authorized representatives of OWNER, CONTRACTOR, and ENGINEER, and that Work is hereby declared to be substantially complete in accordance with the Contract Documents on: 3-15-2017

A tentative list of items to be completed or corrected is attached hereto. This list may not be all-inclusive, and the failure to include an item in it does not alter the responsibility of CONTRACTOR to complete all the Work in accordance with the Contract Documents. The items in the tentative list shall be completed or corrected by CONTRACTOR within **25** days of the above Substantial Completion.

From the date of Substantial Completion the responsibilities between OWNER and CONTRACTOR for security, operation, safety, maintenance, heat, utilities, insurance, warranties, and guarantees shall be as follows:

### RESPONSIBILITIES

OWNER: City of New Port Richey, Department of Public Works: security, operation, safety, maintenance, heat, utilities, insurance

CONTRACTOR: Whiteleaf LLC dba Traffic Solution: warranties, guarantees,

---

The following documents are attached to and made a part of this Certificate:

---

This Certificate does not constitute an acceptance of Work not in accordance with the Contract Documents nor is it a release of CONTRACTOR's obligation to complete the Work in accordance with the Contract Documents.

---

Executed by Engineer on: \_\_\_\_\_, 2017

\_\_\_\_\_  
N/A  
ENGINEER

By: \_\_\_\_\_  
N/A  
(Authorized Signature)

CONTRACTOR acceptance on: March 23, \_\_\_\_\_, 2017

Whiteleaf LLC DBA Traffic Solutions  
CONTRACTOR

By: \_\_\_\_\_  
(Authorized Signature)

OWNER acceptance on: March 15, 2017

City of New Port Richey

OWNER

By: Scott C Fish  
(Authorized Signature)





City of New Port Richey - Public Works  
Walk Thru Item Punch List

Project Name: 2016-2017 Road Striping Project Date: 3/15/2017 Contact Person: Mike Caffrey  
Contractor: Whiteleaf LLC dba Traffic Solution Cell: (352)263-0646  
Contractor's Address: 3001 Industrial Avenue 3 Office: (321)332-1336  
Fort Pierce, FL 34946 Fax:

DEFECTIVE ITEMS			
Utility	Address/Location	Staff	Description of Problem
1 Road N/A		SCF	All work completed
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
Prepared By: Scott Fish		Date: 3/15/2017	

SUPPLEMENTAL CONDITIONS

FINAL RELEASE OF LIEN

STATE OF FLORIDA

COUNTY OF Seminole

KNOW ALL MEN BY THESE PRESENTS, that Robert C. Tolle

for and in consideration of the sum of Fifty-five thousand two hundred sixty-four and 38/100 Dollars (\$ 55,264.38)

paid to White Leaf LLC DBA Traffic Solutions

by city of New Port Richey

which is hereby acknowledged do (as) hereby release and quit-claim to

all rights, claims, or demands

of any kind whatsoever which White Leaf LLC DBA Traffic Solutions

now has

(have) or might have against the property, building, and/or improvements, on account of labor performed, material furnished, and/or for any incidental expense for the construction of pavement markings

thereon or in otherwise improving said property situated as above-described.

WITNESSES:

Ron Caruso SIGNED: RT

TITLE: President

SWORN AND SUBSCRIBED TO BEFORE ME THIS 23 day of March 2017.



Caren L. Gent  
NOTARY PUBLIC  
STATE OF FLORIDA  
Comm# FF158098  
Expires 9/10/2018

Notary Public

My Commission Expires: 9/10/18

\*\*\*\*\*



# NEW PORT RICHEY

5919 MAIN STREET . NEW PORT RICHEY, FL 34652 . 727.853.1016

**TO:** City of New Port Richey City Council  
**FROM:** Robert M Rivera, Public Works Director  
**DATE:** 5/2/2017  
**RE:** 2016 Stormwater Lining Project Close Out

## REQUEST:

Attached for your review and consideration for approval is the final pay request from Layne Inliner, LLC, in the amount \$55,000.00 for stormwater drainage pipe rehabilitation. The pay requests includes the same conditions and unit pricing as the current Pinellas County ITB#134-0252-CP. The usage of this contract and pricing is in accordance with the City's purchasing procedures and guidelines. As City Council may recall, this project was approved by City Council at a regularly scheduled meeting held on November 15, 2016.

## DISCUSSION:

Subsequent to Stormwater Utility maintenance staff pipe inspections, severe deterioration of existing stormwater drainage pipes were identified in the Woodridge and Tropic Shores subdivisions. The existing stormwater pipe materials were reinforced concrete and corrugated metal material. The reinforced concrete pipe contained extensive cracking due to subsurface hydraulics. The corrugated metal pipes were rusted beyond repair. Each of these conditions resulted in infiltration of water and sand and had the potential to damage streets and right of ways if not corrected. The pipe lining type of rehabilitation method has a considerable reduction in cost from traditional pipe laying construction because it eliminates the cost of restoration and allows the existing facilities to remain in place with no disruptions to the general public.

## RECOMMENDATION:

Approval of the final pay request is recommended.

## BUDGET/FISCAL IMPACT:

Funding for the project is allocated in the Stormwater Utility Fund Account No. 002-0103-538-63-99.

## ATTACHMENTS:

Description	Type
<input type="checkbox"/> Final Pay Request	Backup Material
<input type="checkbox"/> Site Map	Backup Material



INVOICE

Date: April 10, 2017

Sold To: City of New Port Richey

6132 Pine Hill Road  
Port Richey, FL 34668

Billed To: City of New Port Richey

6132 Pine Hill Road  
Port Richey, FL 34668

ATTN: Zachary Thull, Operations Manager

ATTN: Zachary Thull, Operations Manager

PERIODIC ESTIMATE FOR PAYMENT NO:

1

PERIOD

2/1/17

through

3/28/17

SHEET 1 of 2

OWNER: City of New Port Richey

CONTRACT:

PROJECT NO.: 44674

PROJECT: New Port Richey Storm 2017

Purchase Order:

PERCENT COMPLETE: 100.00%

In accordance with this Contract and the attached Estimate for Payment, the Contractor is entitled to payment in the amount stipulated below.  
The present status of the account for this Contract is as follows:

Change Order	Additions	Deletions	Current	Total
			Original Contract Sum:	\$55,000.00
			Change Order (Net Change):	\$0.00
			Contract Sum to Date:	\$55,000.00
			Total Completed to Date:	\$55,000.00
			Retainage: 0.00%	\$0.00
			Total Earned Less Retainage:	\$55,000.00
			Less Previous Estimates:	\$55,000.00
			Total Due This Estimate:	\$0.00
Net Change:	\$0.00		Balance Remaining:	\$55,000.00

CERTIFICATION OF CONTRACTOR:

In the submission of this estimate, I certify that all quantities are correct and documented. This is verified by signature of the inspector acting as the Owner's agent.

Contractor: Layne Inliner, LLC

By:

Date: April 10, 2017

Remittance Address Effective 04.27.15:

by Mail: Layne Inliner, LLC

P O Box 677801

Dallas, TX 75267-7801

by Courier: PNC Bank, NA c/o Layne Inliner, LLC

Lockbox 677801

1200 E Campbell Rd Suite 108

Richardson, TX 75081-1963





1

PERIOD:

2/1/17

THROUGH

3/28/17

Page 119



City of New Port Richey  
Billing Summary  
Invoice Number 44674.1

Line No.	Pipe Size	MH to MH	Address	Est Length	Clean	Actual Install	Date
1	24	P344-1 to P344-2	Fairwood Avenue	284	286	286	9-Mar-17
2	24	P344-2 to P342-3	Ease Fairwood Ave	109	109	109	9-Mar-17
3	30	P342-3 to P342-4	Ease Fairwood Ave	107	107	107	15-Mar-17
4	18	P364-1 to P364-2	Tropic Drive	30	34	34	3-Feb-17

530 536 536

TASK	UNIT	RATE	AMOUNT
Install 18" x 9mm	34	\$ 70.00	\$ 2,380.00
Install 24" x 10.5mm	395	\$ 95.00	\$ 37,525.00
Install 30" x 13.5mm	107	\$ 130.00	\$ 13,910.00
Pipe Cleaning Medium Cleaning 12" to 42"	361	\$ 3.00	\$ 1,083.00
Pipe Cleaning Special Cleaning 15" to 21"	34	\$ 3.00	\$ 102.00

\$ 55,000.00

Work to Date \$ 55,000.00

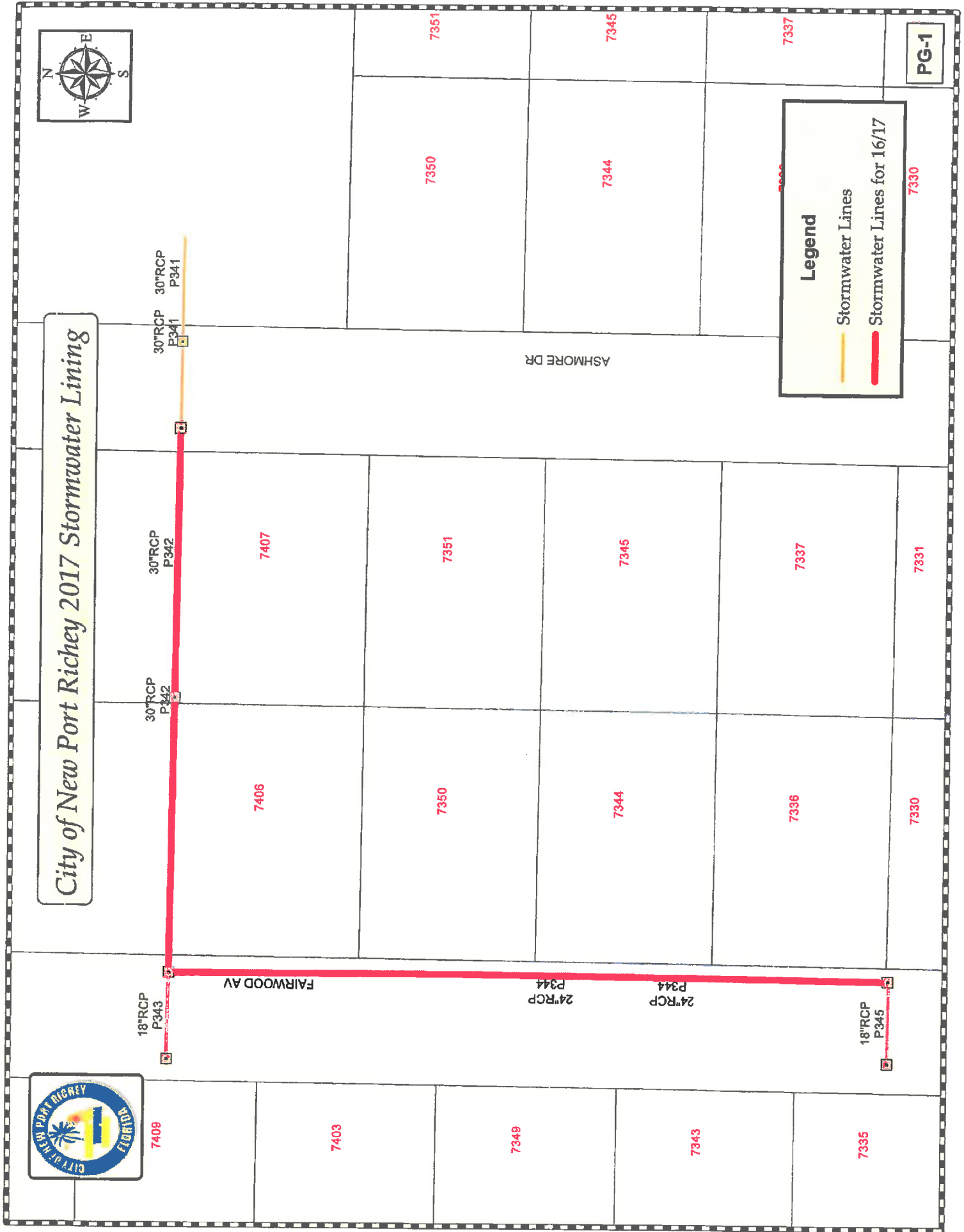
Billed to Date \$ -

\$ 55,000.00

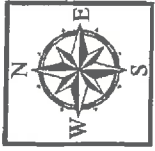
Contract Remaining \$ -

As of: 10-Apr-17









PG-2

### Legend

- Stormwater Lines
- Stormwater Lines for 16/17

5444

5450

TROPIC DR

City of New Port Richey 2017 Stormwater Lining



18" PVC  
P1284

18" PVC  
P1284

10" PVC  
P1285

12" CPP  
P1289

12" CPP  
P1289

18" CMP  
P384

18" CMP  
P384

6" PVC  
P367

6" PVC  
P367

12" PVC  
P365

12" PVC  
P365



# NEW PORT RICHEY

5919 MAIN STREET . NEW PORT RICHEY, FL 34652 . 727.853.1016

---

**TO:** City of New Port Richey City Council  
**FROM:** Elaine D. Smith, CPRP, Director of Parks and Recreation  
**DATE:** 5/2/2017  
**RE:** Recreation and Aquatic Center - 90 Days of Summer Membership Sale

**REQUEST:**

The request before City Council is to review the "90 Days of Summer" sale on three month memberships to the Recreation and Aquatic Center.

**DISCUSSION:**

Each summer the Recreation and Aquatic Center offers a sale on three month memberships called the "90 Days of Summer" special. The sale will be offered from May 3 - June 30, 2017 and will be good for three months from the date of purchase. In 2016, the sale generated \$28,949. A flyer is attached that identifies the sale prices.

**RECOMMENDATION:**

The recommendation is to approve the "90 Days of Summer" special on three month memberships to the Recreation and Aquatic Center. The sale will be offered from May 3 - June 30, 2017.

**BUDGET/FISCAL IMPACT:**

None.

**ATTACHMENTS:**

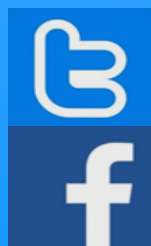
Description	Type
☐ 90 Days of Summer	Cover Memo

# 90 DAYS OF SUMMER SPECIAL

## Purchase by June 30<sup>th</sup>

Three Month	Fee	Resident Discount
Youth	\$48.00	\$38.40
Senior	\$60.00	\$48.00
Adult	\$72.00	\$57.60
Household	\$144.00	\$115.20

Only Members of a Current Household may apply in the Household Membership.  
Must show proof of Household Residency for each Member of the Household.



Follow us on Twitter!  
ParksandRecNPR

Like us on Facebook!  
NPRParksandRec



6630 Van Buren Street  
New Port Richey,  
FL 34653  
(727)841-4560  
Citynpr.org



# NEW PORT RICHEY

5919 MAIN STREET • NEW PORT RICHEY, FL 34652 • 727.853.1016

**TO:** City of New Port Richey City Council  
**FROM:** Judy Meyers, City Clerk  
**DATE:** 5/2/2017  
**RE:** Board Re-Appointment: Louis Parrillo, Land Development Review Board

**REQUEST:**

The request is for City Council to approve the re-appointment of Louis Parrillo to the Land Development Review Board.

**DISCUSSION:**

Louis Parrillo has been a valued member of the Land Development Review Board since his initial appointment in 2014. Mr. Parrillo's current term is due to expire on May 6, 2017 and he has submitted his application seeking re-appointment to the Land Development Review Board for Council's consideration. If approved, Mr. Parrillo's term will be for three years and will be up for renewal on May 6, 2020. Staff has verified that Mr. Parrillo meets the requirements set forth in the City's Code to serve on this board.

**RECOMMENDATION:**

Staff recommends City Council approve the re-appointment of Louis Parrillo to the Land Development Review Board and accept the attached updated roster.

**BUDGET/FISCAL IMPACT:**

No funding is required for this item.

**ATTACHMENTS:**

Description	Type
❑ Application - Louis Parrillo	Backup Material
❑ Updated Land Development Review Board Roster	Backup Material



# Board and Committee Membership Application

City of New Port Richey  
5919 Main Street  
New Port Richey, FL 34652  
(727) 853-1016  
www.citynpr.org



## Applicant Information

Name	Louis Parrillo
Street Address	5624 Montana Ave
City, State, Zip	New Port Richey, FL 34652
Home Phone	727-478-6109
Alternate Phone	727-505-6156
E-Mail Address	lip5624@gmail.com
Driver's License Number (attach copy of DL)	

## Eligibility Verification

To serve on a City Board or Committee you must either be a current resident of the city or own a business within the city limits. You must also be a registered voter. Please check all that apply.

<input checked="" type="checkbox"/> I currently live within the city limits. ✓	<input type="checkbox"/> I own a business within the city limits
<input checked="" type="checkbox"/> I am a registered voter in Florida ✓	(attach copy of voter identification card)

Have you ever been convicted, pleaded guilty or no lo contendere to any criminal offense? (A yes answer to the above question does not automatically preclude you from being considered. The circumstances, timeframe and relevant factors are considered on an individual basis.)

☐ Yes ☒ No

If yes, please explain (including date):

## Boards and Committees

Tell us in which Board or Committee you are interested in serving on:

- ☐ Cultural Affairs Committee (meets on the third Monday of each month)
- ☐ Environmental Committee (meets on the fourth Monday of each month)
- ☐ Firefighters Pension Board (meets on a quarterly basis)

- ☒ Land Development Review Board (meets on the fourth Thursday of the month)
- ☐ Library Advisory Board (meets on the fourth Tuesday of the month)
- ☐ Parks and Recreation Advisory Board (meets on the second Tuesday of the month)
- ☐ Police Pension Board (meets on the fourth Tuesday of the month)

### Previous Volunteer Experience

Summarize your previous volunteer experience.

Land Development Review Board  
Parks & Rec Board

### Special Skills or Qualifications

Summarize special skills and qualifications you have acquired from employment, previous volunteer work, or through other activities, including hobbies or sports.

Florida State Licensed Home Inspector - Retired inactive  
International Code Council Certified Building Inspector

### Personal References

Please provide three (3) references other than relatives. List name, phone number and relationship to you.

Name (printed)	Phone Number	Relationship
Bob Consalvo		City Board
Judy DiBella Thomas		Friend
Dave Schrader		City Board

### Agreement and Signature

By submitting this application, I affirm that the facts set forth in it are true and complete. I understand that if I am accepted as a Board or Committee member, any false statements, omissions, or other misrepresentations made by me on this application may result in my immediate dismissal.

Name (printed) Louis Parrillo

Signature Louis Parrillo

Date 4/10/17

### Selection Process

Once your application has been reviewed and your eligibility to serve has been verified, you will be contacted by the City Clerk to appear at an upcoming City Council meeting so that Council may address any questions they may have regarding your application.

### Our Policy

It is the policy of this organization to provide equal opportunities without regard to race, color, religion, national origin, gender, sexual preference, age, or disability.

Thank you for completing this application form and for your interest in volunteering with us. Please return the completed form back to Judy Meyers, City Clerk, City of New Port Richey, 5919 Main Street, New Port Richey, Florida, 34652. You may also send it via e-mail to [meyersj@cityofnewportrichey.org](mailto:meyersj@cityofnewportrichey.org). If you have any questions or need any further information please contact the City Clerk's Office at (727) 853-1021.

---

#### FOR INTERNAL USE ONLY:

Date Application Received:

4/10/17

Type of Application: New Member

Renewal



CITY OF NEW PORT RICHEY BOARDS/COMMITTEES  
Land Development Review Board

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(7 members, 2 alternates, all City residents and registered voters. Three-year term.)

Purpose is to offer advisory opinions and recommendations to the City Council on matters involving the development of land in the City, including preparation and amendment of the Comprehensive Plan, the City's Land Development Code, and variances granted thereunder.

**3-Year Term through:**

**1. Louis I. Parrillo**

5624 Montana Avenue  
New Port Richey, FL 34652  
(h) 727-478-6109  
[lip5624@gmail.com](mailto:lip5624@gmail.com)

**05/06/2020**

**2. Judy A. Michel**

6429 Remus Drive  
New Port Richey, FL 34653  
(h) 727-264-6720  
(w) 727-510-9263  
[jchouses4u@gmail.com](mailto:jchouses4u@gmail.com)

**03/17/2018**

**3. Donald Ivan Cadle, Jr.**

P.O. Box 2101  
New Port Richey, FL 34652  
(h) 727-849-6272  
(w) 727-842-6052  
(f) 727-843-8338  
[dr.cadle@verizon.net](mailto:dr.cadle@verizon.net)

**02/07/2020**

**4. John R. Grey**

6728 River Road  
New Port Richey, FL 34652  
(h) 727-992-9800  
(w) 727-849-2424  
(f) 727-842-6596  
[john@figrey.com](mailto:john@figrey.com)

**02/21/2020**

**5. Daniel Maysilles**

6134 Oakridge Avenue  
New Port Richey, FL 34653  
(h) 848-8009  
[gatorx1@msn.com](mailto:gatorx1@msn.com)

**02/21/2020**



**6. Mary Moran**

5738 Kentucky Avenue  
New Port Richey, FL 34652  
(h) 727-815-8991  
[marymoran@tampabay.rr.com](mailto:marymoran@tampabay.rr.com)

**11/15/2019**

**7. Gregory D. Smith**

5822 Indiana Avenue  
New Port Richey, FL 34652  
(w) 813-468-8825  
[greg@savealator.com](mailto:greg@savealator.com)

**08/04/2018**

**Alternates:**

**1. Robert (Bob) Smallwood**

7124 Meighan Ct.  
New Port Richey, FL 34652  
(C) 267-5863  
[Smallwood.bob@gmail.com](mailto:Smallwood.bob@gmail.com)

**07/05/2019**

**2. Nancy MacDonald**

6533 Spring Flower Drive, #34-12  
New Port Richey, FL 34653  
[nmacdonald2@tampabay.rr.com](mailto:nmacdonald2@tampabay.rr.com)

**08/16/2019**

**Staff Liaison: Lisa Fierce**

**3.06.00 Creation of land development review board**

The city council hereby creates the land development review board.  
The purpose of the land development review board is to offer advisory opinions and recommendations to the city council on matters involving the development of land in the city, including preparation and amendment of the Comprehensive Plan, the city's Land Development Code, and variances granted thereunder.  
(Ord. No. 1374, §§ 4, 5, 9-5-95)

**3.06.01 Duties and responsibilities.**

The duties and functions of the land development review board are as follows:  
1. The land development review board shall recommend to the city council the adoption of ordinances promoting orderly development in conformance with the adopted Comprehensive Plan. Such ordinances may include, but are not limited to, amendments to the adopted comprehensive plan, amendments to the city's Land Development Code, and changes to the Future Land Use and Zoning Map of the city. The land development review board shall fulfill all responsibilities bestowed on other sections of the Code on the board of adjustments and appeals or the planning and zoning board.

2. The land development review board shall serve as the New Port Richey Local Planning Agency, pursuant to the requirements of Florida Statutes and the Florida Administrative Code. The board shall fulfill the responsibilities of the local planning agency as set forth in the Florida Statutes and in the city's adopted comprehensive plan.
3. The land development review board shall conduct such public hearings as may be required in order to gather information necessary for the preparation of recommendations regarding the city's adopted comprehensive plan and its Land Development Code.
4. The land development review board shall fulfill all of the functions and responsibilities previously bestowed upon the board of adjustments and appeals concerning petitions for variances from the requirements of the Land Development Code or appeals of administrative decisions rendered by the city manager, the director of development services, the building official, or other administrative staff charged with the responsibility of interpreting and enforcing the New Port Richey Code. The land development review [board] shall have the power to conduct hearings and recommend decisions to the city council where it is alleged there is an error in any order requirement, decision, or determination by an administrative official in the enforcement of the Land Development Code. In conducting any hearing and in preparing any recommendation to the city council regarding the granting of variances, the board shall adhere to the procedure and guidelines set forth in chapter V of the city's Land Development Code.

(Ord. No. 1374, §§ 4, 5, 9-5-95)

### **3.06.02 Membership.**

1. There shall be seven (7) regular and two (2) alternate members comprising the land development review board. The two (2) alternates shall serve as a member in the absence of a regularly appointed member and shall attend all meetings. All members of the land development review board shall be resident electors of the City of New Port Richey. A quorum shall consist of four (4) members.
2. The initial appointment of members to serve on the land development review board will be completed so that four (4) members of the land development review board shall serve an initial term of two (2) years and three (3) members shall serve an initial term of one (1) year. Thereafter, all appointments shall be for three (3) year terms.
3. The city council shall select the members of the board by a majority vote of the city council. The city council, by a majority vote, may remove any member with, or without cause. Vacancies shall be filled from the alternate positions, if available. Any board member or alternate who misses two (2) consecutive meetings shall be deemed to have resigned unless the absence is excused by the chairman prior to the meeting. The chairman shall notify the city clerk in writing of the member's resignation.
4. All members and alternates, as well as the public, shall have a voice pertaining to the business brought before the land development review board. Only members are entitled to vote on all proceedings. Alternate members may not vote unless taking the place of an absent member. Members of the board shall not vote if they have a conflict of interest pursuant to Florida Statutes.

(Ord. No. 1374, §§ 4, 5, 9-5-95; Ord. No. 1476, § 1, 2-2-99)

### **3.06.03 Meetings.**

The land development review board shall meet as needed to fulfill its responsibilities concerning hearings on variances and appeals of administrative decisions. In addition to scheduled hearings on variances and appeals, the land development review board will meet to conduct any public hearing required to fulfill the functions of a local planning agency as set forth in Florida Statutes or in the city's adopted comprehensive plan. In no event, shall the land development review board meet less frequently than once every ninety (90) days. Meetings shall be open to the public pursuant to section 286.001, Florida Statutes. The time, date, place and agenda of the meeting shall be placed by the city clerk in City Hall one (1) week prior to the meetings unless an emergency exists. All meetings shall be conducted in accordance with Robert's Rules of Order.  
(Ord. No. 1374, §§ 4, 5, 9-5-95; Ord. No. 1476, § 1, 2-2-99)

#### **3.06.04 Officers.**

The voting members of the land development review board shall elect one (1) of their members to serve as chairman, one (1) of their members to serve as vice chairman, and one (1) of their members to serve as ex officio secretary. The secretary shall record minutes for each meeting of the committee. The secretary shall keep the original copy of the minutes and furnish a copy of the minutes to the city clerk. The chairman shall submit an annual report to the city council.  
(Ord. No. 1374, §§ 4, 5, 9-5-95; Ord. No. 1476, § 1, 2-2-99)

#### **3.06.05 Compensation.**

The members of the board shall serve without compensation but may receive reimbursement for travel expenditures in accordance with the Florida Statutes.  
(Ord. No. 1374, §§ 4, 5, 9-5-95)